



AVE MARIA STEWARDSHIP COMMUNITY DISTRICT

COLLIER COUNTY REGULAR BOARD MEETING & PUBLIC HEARING DECEMBER 2, 2025 4:00 P.M.

**AVE MARIA MASTER ASSOCIATION
5080 ANNUNCIATION CIRCLE, SUITE 101
AVE MARIA, FLORIDA 34142**

www.avemariastewardshipcd.org

DISTRICT MANAGER

**Special District Services, Inc.
The Oaks Center
2501A Burns Road
Palm Beach Gardens, FL 33410**

**561.630.4922 Telephone
877.SDS.4922 Toll Free
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AGENDA
AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
REGULAR BOARD MEETING & PUBLIC HEARING
December 2, 2025

4:00 p.m.

Ave Maria Master Association
5080 Annunciation Circle, Suite 101
Ave Maria, Florida 34142

TO JOIN VIA ZOOM: <https://us02web.zoom.us/j/84779450200>

MEETING ID: 847 7945 0200 DIAL IN AT: 1-929-436-2866

- A. Call to Order
- B. Pledge of Allegiance
- C. Invocation
- D. Proof of Publication.....Page 1
- E. Establish a Quorum
- F. Additions or Deletions to Agenda
- G. Comments from the Public
- H. Approval of Minutes
 - 1. November 5, 2025 Regular Board Meeting Minutes.....Page 4
- I. Public Hearing
 - 1. Proof of Publication.....Page 14
 - 2. Receive Public Comments and Objections on the Adoption of the Prequalification Criteria and Procedures and Appointing an Evaluation Committee
 - 3. Consider Resolution No. 2025-31 Adopting Prequalification Criteria and Procedures, and Appointing an Evaluation Committee.....Page 17
- J. Old Business
 - 1. AMSCD Projects Update.....Page 41
 - 2. Consider Resolution No. 2025-32 – Ratifying Series 2025 Master Bonds.....Page 42
 - 3. Pope John Paul II Blvd & Anthem Parkway Roundabout – Central Island Update.....Page 44
 - 4. Seton Street Signage Update
- K. New Business
 - 1. Presentation by Kimley Horn – Ave Maria Blvd Crosswalk Analysis.....Page 50
 - 2. Consider Authorization of Urban Area Map Update.....Page 119
 - 3. Pope John Paul II Blvd & Camp Keias Road Roundabout Update.....Page 123
 - 4. Consider Approval of Change Order #1 with DN Higgins for Anthem Parkway Phase 5B.....Page 125
 - 5. Consider Approval of Change Order #8 with Earth Tech Enterprises for Anthem Parkway Phase 5A.....Page 128
 - 6. Consider Approval of Agreement with Motorola Solutions for Security Cameras Phase 2.....Page 162

7. Request Board Guidance on Cost Sharing for District Roadways with Collier County.....Page 163

- Authorize Staff to Prepare Resolution Requesting Collier County Maintain Roads in Ave Maria or
- Authorize Staff to Prepare Interlocal Agreement for Cost Sharing with Collier County

8. Discussion Regarding Landscape/Hardscape in front of Town Core Building #3

L. Administrative Matters

1. Legal Report
2. Engineer Report
3. Manager's Report

- Financials.....Page 176

M. Final Public Comments

N. Board Member Comments

O. Adjourn

***Public Comment will be limited to three minutes (3:00) with no rebuttal**



Clerk of the Circuit Court and Comptroller - Crystal K. Kinzel
Collier County, Florida
3315 Tamiami Trail East, Ste. 102 - Naples, FL 34112-5324
Phone: (239) 252-2646

Affidavit of Publication

COLLIER COUNTY STATE OF FLORIDA

Before the undersigned authority personally appeared Martha Vergara, who on oath says that he or she is a Deputy Clerk of the Circuit Court of Collier County, Florida; that the attached copy of advertisement, Ave Maria Stewardship Community District Notice of Public Hearing & Regular Meeting 12/2/2025 was published on the publically accessible website <https://notices.collierclerk.com> as designated by Collier County, Florida on 11/21/2025 until 11/23/2025.

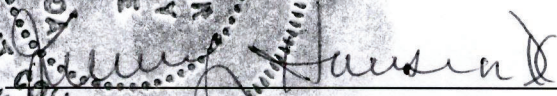
Affiant further says that the website complies with all legal requirements for publication in chapter 50, Florida Statutes.

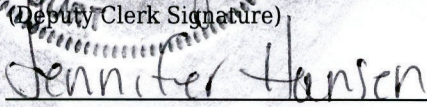

(Affiant Signature)


(Affiant Printed Name)

Sworn to and subscribed before me this 11/24/2025

Crystal K. Kinzel, Clerk of the Circuit Court & Comptroller


(Deputy Clerk Signature)


(Deputy Clerk Printed Name)


Date

**AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
NOTICE OF PUBLIC HEARING AND REGULAR BOARD MEETING
(DECEMBER 2, 2025)**

A public hearing of the Board of Supervisors ("Board") of the Ave Maria Stewardship Community District ("District") is scheduled to be held on December 2, 2025, at 4:00 p.m. at the Ave Maria Master Association, located at 5080 Annunciation Circle, Suite 101, Ave Maria, FL 34142, for the purpose of hearing comments and objections on the adoption of the District's proposed construction prequalification criteria and procedures. A regular board meeting of the District (the "Meeting") will also be held at that time where the Board may consider any other business that may properly come before it. The Meeting will also be available for viewing utilizing communications media technology ("Virtual Attendance") through the following login information, however public comment will only be available to those participating in person. Virtual Attendance is offered for convenience only and in the event there are interruptions in internet service or other technical difficulties the Meeting will continue at the physical location regardless of availability of the Virtual Attendance option.

Join by URL for VIDEO ACCESS at: <https://us02web.zoom.us/j/84779450200>

Meeting ID: 847 7945 0200

Join by PHONE at: 1-929-436-2866

Meeting ID: 847 7945 0200

A copy of the agenda for this meeting may be obtained from Special District Services, Inc., 2501A Burns Road, Palm Beach Gardens, Florida 33410, 561-630-4922 ("District Manager's Office"). The public hearing and Meeting is open to the public and will be conducted in accordance with provisions of Florida law. The public hearing and Meeting may be continued to a date, time, and place to be specified on the record at the meeting. There may be occasions when one or more Supervisors or District Staff will participate by telephone or other communications media technology.

Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Manager's Office at least forty-eight (48) hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Manager's Office.

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the public hearing or meeting is advised that person will need a record of proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

Allyson Holland
District Manager

AVE MARIA STEWARDSHIP COMMUNITY DISTRICT

www.avemariastewardshipcd.org

**PUBLISH: COLLIER COUNTY WEBSITE: BEGINNING AT MIDNIGHT ON FRIDAY,
11/21/25 & EXPIRING AT MIDNIGHT ON SUNDAY, 11/23/25**

**AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
REGULAR BOARD MEETING
NOVEMBER 5, 2025
4:00 p.m.**

**Ave Maria Master Association
5080 Annunciation Circle, Suite 101
Ave Maria, Florida 34142**

TO JOIN VIA ZOOM: <https://us02web.zoom.us/j/84779450200>

MEETING ID: 847 7945 0200 DIAL IN AT: 1-929-436-2866

A. CALL TO ORDER

The November 5, 2025, Regular Board Meeting of the Ave Maria Stewardship Community District (the “District”) was called to order at 4:00 p.m. at the Ave Maria Master Association located at 5080 Annunciation Circle, Suite 101, Ave Maria, Florida 34142.

B. PLEDGE OF ALLEGIANCE

C. INVOCATION

A moment of silence was observed.

D. PROOF OF PUBLICATION

Proof of publication was presented indicating that notice of the Regular Board Meeting had been published in the *Naples Daily News* on October 28, 2025, as legally required.

E. ESTABLISH A QUORUM

A quorum was established with the following Board of Supervisors:

| | | |
|---------------------------|-------------------|---------|
| Seat No. 1: Supervisor | Nick Casalanguida | Present |
| Seat No. 2: Supervisor | Naomi Robertson | Present |
| Seat No. 3: Supervisor | Robb Klucik | Absent |
| Seat No. 4: Chairman | Jay Roth | Present |
| Seat No. 5: Vice Chairman | Tom DiFlorio | Present |

District Staff in attendance were:

| | | |
|----------------------|--------------------------|---------------------------------|
| District Manager | Allyson Holland | Special District Services, Inc. |
| District Manager | Todd Wodraska (via Zoom) | Special District Services, Inc. |
| General Counsel | Alyssa Willson | Kutak Rock, LLP |
| District Engineer | Ted Tryka | LJA Engineering, Inc. |
| Owner Representative | David Genson (via Zoom) | Barron Collier Companies |

Also present were the following:

Donny Diaz, Jaclyn Canerdy, Jenna Buzzaco and approximately ten members of the public. There were also approximately six people present via Zoom including Russ Weyer (Methodology Consultant).

F. ADDITIONS OR DELETIONS TO AGENDA

No additions or deletions to the agenda.

G. COMMENTS FROM THE PUBLIC

Carlos Figueroa stated that he had reviewed the meeting book and wanted to reiterate what he said at the last meeting. He did not think the bond pricing was correct.

H. APPROVAL OF MINUTES

1. October 14, 2025, Regular Board Meeting & Public Hearing

The minutes of October 14, 2025, Regular Board Meeting & Public Hearing were presented for consideration.

A **motion** was made by Mr. Casalanguida, seconded by Ms. Robertson and passed unanimously approving the minutes of the October 14, 2025, Regular Board Meeting & Public Hearing, as presented.

I. OLD BUSINESS

1. AMSCD Projects Update

Ms. Holland stated that the District project updates were provided in the meeting book. She emphasized that she was excited to announce that the new roundabout at Pope John Paul II Boulevard and Anthem Parkway was now partially open. She stated that this was not announced to the residents yet as it is not fully open and she still encourages caution while driving in this construction area.

2. Signage Update

Mr. Genson provided an update regarding the signage. Mr. Genson stated that as was previously discussed and adjusted in the [reports associated with the upcoming] bond issuance, the signage on Anthem Parkway will be owned and maintained by Ave Maria Development moving forward. He confirmed that they will move forward with amendments to the signage as previously presented under the Developer's easement rights and the Developer will own and maintain such signage. Ms. Willson added that in light of this update, staff recommends tabling the previously presented signage resolution at this time. The Board unanimously agreed to table further action and discussion on this item.

J. NEW BUSINESS

1. Consider Resolution No. 2025-26 – Adopting a Fiscal Year 2024/2025 Amended Budget

Ms. Holland presented Resolution No. 2025-26, entitled:

RESOLUTION NO. 2025-26

A RESOLUTION OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT ADOPTING A REVISED AMENDED FISCAL YEAR 2024/2025

BUDGET ADMINISTRATION, OPERATION AND MAINTENANCE AND DEBT.

Ms. Holland presented the amended budget, which starts on Page 18 of the meeting book. She explained that special districts are required to approve an amended budget no later than two months after the close of the fiscal year. The amended budget is essentially a recap of what we have done over the year. The amended budget for the general fund includes the original approved budget, the actual amount, and the amended budget amount for all revenue and expenditure line items on the budget. The expenditures are projected, because in many instances, not all expenditures for each of the line items have been received and they may not be received until November or later. In addition to the general fund, the amended budget includes the debt service budget. The format for the amended debt service budget includes the original approved budget, the actual amount, and the amended amount for the debt service categories such as interest earned, non-ad valorem tax receipts, bond interest paid, and bond principal paid. The debt service budget also includes the original bond amounts, the current bond balances, the bond interest rates, the current balances in the trustee accounts, and the amount of the November bond payments. The amount in the revenue account needs to be more than the November bond payments. In summary, the amended budget process gives staff the opportunity to review the finances in detail.

Ms. Holland detailed the highlights of the amended budget. O&M and Debt assessments were very accurate. Developer contribution for O&M and Debt was lower than projected. The “Developer Contribution – Other” line item reflects the cost of the Lennar Bond Reallocation. This did not cost the District anything, as this \$34,262 revenue is also included as Extraordinary Developer Expenditure (also \$34,262). The invoices were essentially a pass-through for the District.

Regarding Administrative Expenditures, there are no significant differences in the budget and actual. Legal advertising was over budget, but this included additional advertising for the National Bond Reallocation that was actually paid back to the District but not reflected in the actual line item. Starting in November, we will be advertising through Collier County’s website, so we should see legal advertising costs decrease for the current FY.

Ms. Holland explained that all Maintenance Expenditures were previously discussed with the Board throughout the year. Looking at the bottom line, staff was under budget by approximately \$340,000. Highlighting the differences, irrigation repair costs were significant, staff did not spend nearly as much as budgeted in the sidewalk/curb repair line item, landscaping maintenance contract was over due to the additional land that the District took over, both preserve and lake maintenance were over budget due to additional maintenance that was required (i.e., clearing exotics, etc.), Asset Management was over due to the Cyclomedia invoice that carried over from the previous year, and staff did not spend nearly as much as budgeted for the public safety project (cameras). Finally, the capital asset purchase was supposed to include a street sweeper, but staff was able to secure an agreement with a reliable contractor instead of taking on another asset. The contingency fund will be eliminated next year, but that expense includes a portion of the Christmas lights that the District hires a company to install. Next year’s budget includes a specific line item for Christmas lights.

There is nothing significant to note with respect to the bonds except that we have a new bond sheet for the Maple Ridge 2025 bonds. There will be a new bond sheet for the 2025 Master bonds next year. There was brief discussion amongst the Board Members.

A **motion** was made by Mr. DiFlorio, seconded by Ms. Robertson and passed unanimously adopting Resolution 2025-26 – Adopting a Fiscal Year 2024/2025 Amended Budget, as presented.

2. Consider Resolution No. 2025-27 – Adopting a Fiscal Year 2024/2025 Amended Budget for Master Irrigation Utility System

Ms. Holland presented Resolution No. 2025-27, entitled:

RESOLUTION NO. 2025-27

A RESOLUTION OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT ADOPTING A REVISED AMENDED FISCAL YEAR 2024/2025 BUDGET FOR THE MASTER IRRIGATION UTILITY SYSTEM.

Ms. Holland explained that there was nothing significant to note in the irrigation budget. Actual Revenue was slightly lower than budgeted. Connection fees were higher than budget, but installations were lower. Overall, the revenue was slightly under budget. With respect to expenditures, the bulk water charge was slightly over budget. There was a brief discussion amongst the Board Members.

A **motion** was made by Mr. Casalanguida, seconded by Ms. Robertson and passed unanimously adopting Resolution 2025-27 – Adopting a Fiscal Year 2024/2025 Amended Budget for Master Irrigation Utility System, as presented.

3. Presentation of the following Items Related to the Series 2025 Master Capital Improvement Revenue Bonds:

- **Presentation of Final Series 2025 Assessment Methodology Report – Phase 5 Project**

Ms. Holland informed the Board that she provided copies of the methodology report to each Supervisor as the report was not included in the printed meeting books. She noted that the report was also included in the meeting book online, and that it was located at the end of the meeting book so the page numbers would be consistent with the online version and printed version of the meeting book. Ms. Willson reiterated that the pricing schedule and tight turnaround with this Board meeting was the reason for the delay in the meeting documents. Due to the timing of the market, staff wanted to act in the best interest of the District.

Mr. Weyer presented this item. He explained that the methodology report was approved in substantial form at the previous meeting, and since then, the bonds had been successfully priced. Mr. Weyer explained the minor changes to the methodology in accordance with the bond pricing and that the final assessments did not change. Mr. Weyer reviewed the tables in his report that changed since last presented. Ms. Willson asked Mr. Weyer to confirm that the methodology report was consistent with the master report that was previously approved following the public hearing held at the last meeting and Mr. Weyer confirmed that it was.

- **Consider Resolution No. 2025-28 – Series 2025 Supplemental Assessment Resolution**

Ms. Willson presented Resolution No. 2025-28, entitled:

RESOLUTION NO. 2025-28

A RESOLUTION SETTING FORTH THE SPECIFIC TERMS OF THE DISTRICT'S CAPITAL IMPROVEMENT REVENUE BONDS, SERIES 2025 (PHASE 5 MASTER IMPROVEMENTS PROJECT); CONFIRMING DISTRICT'S PROVISION OF INFRASTRUCTURE IMPROVEMENTS

AND ADOPTING AN ENGINEER'S REPORT; CONFIRMING AND ADOPTING A SUPPLEMENTAL ASSESSMENT REPORT; CONFIRMING, ALLOCATING AND AUTHORIZING THE COLLECTION OF SPECIAL ASSESSMENTS SECURING SERIES 2025 MASTER BONDS; PROVIDING FOR THE APPLICATION OF TRUE-UP PAYMENTS; PROVIDING FOR THE SUPPLEMENT TO THE IMPROVEMENT LIEN BOOK; PROVIDING FOR THE RECORDING OF A NOTICE OF SERIES 2025 SPECIAL ASSESSMENTS; PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

Ms. Willson explained that the resolution fixed the final assessment amount in accordance with the District Act for this bond series. Ms. Willson noted that there were no updates to the Engineer's Report since previously presented and the updates to the Methodology Report were previously discussed. She stated that by adopting the resolution, the Board finalizes the assessments in accordance with the terms of the bond pricing, makes certain findings related to same, and authorizes public notice of the existence of the special assessments securing the bonds.

A **motion** was made by Ms. Robertson, seconded by Mr. Casalanguida and passed unanimously adopting Resolution 2025-28 – Series 2025 Supplemental Assessment Resolution, as presented.

- **Consider Supplemental Disclosure of Public Financing**

Ms. Willson presented this item and summarized the Supplemental Disclosure, noting that the disclosure was required by law. She explained that this puts future buyers on notice of the assessments and she also noted the proposed boundary change.

Mr. DiFlorio asked what the District could do to notify residents/home buyers about the assessments and feels that we need to be more transparent. Ms. Robertson responded that this goes back to the builder and it is incumbent upon the seller. She confirmed that fee sheets were included with the closing documents. Ms. Robertson stated that the buyers should be looking up the property tax bill for the prior year. Ms. Willson stated that the District may be able to work with Ms. Buzzaco-Foerster to prepare communication documentation to assist with information about the assessment and there are a number of recorded notices and disclosures that would be reflected in property tile. Mr. DiFlorio asked about re-sales. Ms. Robertson stated that the disclosures should be the same. Ms. Holland stated that she receives numerous phone calls from residents claiming the assessment was not disclosed to them, but she also confirmed that she receives phone calls from real estate agents asking for information about the assessments. Mr. Figueroa asked for permission to speak and the Board conversed with him regarding his experience regarding the assessment disclosure. Mr. Weyer added that he was a District Manager for several other districts and that he meets with sales staff annually to discuss the assessments. He provided his card for anyone who had questions. Mr. Roth responded that real estate agents were supposed to be licensed and he hoped people were doing their homework. Ms. Holland stated that she could do a better job explaining the assessments at Coffee with a Twiss and New Resident Orientation. Although both events are hosted by the Master Association, the District participates regularly.

A **motion** was made by Ms. Robertson, seconded by Mr. Casalanguida and passed unanimously approving the Supplemental Disclosure of Public Financing, as presented.

4. Asset Management Software, Programming, and Support Services

- **Consider Approval of Agreement between England, Thims, & Miller & the District to Continue to Provide Asset Management Software, Programming, and Support Services**

Ms. Holland presented this item. She explained that the District, in coordination with the Ave Maria Utility Company, LLLP (AMUC), has been working with England, Thims, & Miller, Inc. (ETM) to provide GIS and Asset Management Consulting Services for over two years. ETM provides system optimization, data management, training & support, operational process review, and system administration. Over the past two years, ETM and District staff have had onsite sessions to gather information and provide onsite training. ETM has been instrumental in system optimization, data management, and providing training and support.

Ms. Holland requested the Board's approval of the agreement with ETM to continue to provide ongoing consulting services to support GIS and Asset Management needs. The contract includes system optimization, data management, training & support, operational review process, system administration, configurations support, and other GIS or asset management support at the request of the District. Ms. Holland stated that she was very pleased with the progress that staff had made over the past year and noted the additional assets that were added to the system. She stated that over time, she does not believe staff will be as dependent on ETM. The agreement is for one year/twelve months of services, beginning in December 2025 and ending in November 2026.

Staff budgeted \$140,000 in the adopted FY 2025/2026 budget to operate and maintain the asset management software and licensing. Funding ETM's agreement in the amount of \$130,000 is within the O&M budget for this service. She noted that ETM would invoice the District time and material opposed to lump sum monthly.

Ms. Holland stated that the next item was related to asset management as well. She indicated that the District and AMUC shared the costs for the software and licensing. Ms. Holland explained that the First Amendment to the Memorandum of Understanding with AMUC had been updated to include the District's shared costs for software and licensing fees in the amount of \$9,116.42 for this fiscal year, such may be adjusted annually to account for each entity's proportionate use of the software.

Mr. Casalanguida asked if the District had a public interface. Ms. Holland responded not at this time, but this was certainly something we could move forward to in the future. Mr. DiFlorio asked if the Field Staff liked the software or if they had issues with it. Ms. Holland confirmed that the software was working fantastically for staff but the only issue was the internet connection in the field. Staff has to come to the office and connect to WiFi in order to log certain tasks.

A **motion** was made by Mr. DiFlorio, seconded by Ms. Robertson and passed unanimously approving the Agreement between England, Thims & Miller and the District to continue to provide asset management software programming, and support services, as presented.

- **Consider Approval of First Amendment to Memorandum of Understanding Regarding GIS and Asset Management System and the Funding of the Cost Thereof**

Ms. Holland presented this item as noted above. Ms. Willson confirmed that this item was consistent with years past.

A **motion** was made by Mr. Casalanguida, seconded by Mr. DiFlorio and passed unanimously approving the First Amendment to Memorandum of Understanding regarding GIS and asset management system and the funding of the cost thereof.

5. Goals and Objectives

- **Consider Resolution No. 2025-29 – Adopting an Annual Report of Goals, Objectives, and Performance Measures and Standards**

Ms. Holland presented Resolution No. 2025-29, entitled:

RESOLUTION NO. 2025-29

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT ADOPTING AN ANNUAL REPORT OF GOALS, OBJECTIVES, AND PERFORMANCE MEASURES AND STANDARDS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

Ms. Holland explained that in 2024 the Florida Legislature adopted House Bill 7013 (HB7013), which among other things, requires all special districts to adopt goals and objectives along with performance measures and standards to determine if a district has met its goals and objectives. The Board of Supervisors unanimously approved the goals and objectives at the regular board meeting on September 10, 2024, and staff has been reviewing the goals and objectives at each Regular Board meeting. HB7013 also requires each special district to publish an annual report on its website detailing the goals and objectives achieved, the performance measures and standards used, and any goals or objectives that were not achieved by December 1 each year (initial report due on December 1, 2025). The annual report is included herein for Board consideration. Ms. Holland reviewed each goal and objective and stated that she felt each had been achieved. The Board briefly discussed and agreed that the goals and objectives had been achieved.

A **motion** was made by Mr. DiFlorio, seconded by Ms. Robertson and passed unanimously approving Resolution No. 2025-29 – Adopting an Annual Report of Goals, Objectives, and Performance Measures and Standards, as presented.

- **Consider Resolution No. 2025-30 – Adopting Goals, Objectives, and Performance Measures and Standards**

Ms. Holland presented Resolution No. 2025-30, entitled:

RESOLUTION NO. 2025-30

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT ADOPTING GOALS, OBJECTIVES, AND PERFORMANCE MEASURES AND STANDARDS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

Ms. Holland noted that at the July 1, 202, Regular Board Meeting, staff reviewed the current goals and objectives, informed the Board that the goals and objectives could be changed/added throughout the year, and informed the Board that they were not required to adopt new goals and objectives each year. Ms. Holland explained that last year's goals and objectives were specific to last year, for example the asset management software integration and the reserve study. At the July 1, 2025, meeting, the Board directed staff to continue to follow the key categories identified last year but amend

the goals and objectives as-needed. The key categories along with the goals are included in Exhibit A of the resolution. Ms. Holland stated that she kept the goals and objectives more general this year in hopes of not having to approve new ones each year, but she emphasized that the Board could add or change the goals and objectives at any time. Mr. Roth questioned the performance measure for “no findings” for the annual report and requested clarification. The Board briefly discussed and agreed that the word choice was subject to interpretation. Ms. Holland confirmed that she would clarify this for the final version so it was not subject to interpretation.

A **motion** was made by Mr. Casalanguida, seconded by Ms. Robertson and passed unanimously approving Resolution No. 2025-30 – Adopting Goals, Objectives, and Performance Measures and Standards, subject to the clarification noted above.

6. Consider Resolution No. 2025-31 – Adopting Construction and Maintenance Services Prequalification Criteria and Procedures and Setting a Public Hearing.

Ms. Holland presented Resolution No. 2025-31, entitled:

RESOLUTION NO. 2025-31

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT TO DESIGNATE THE DATE, TIME AND PLACE OF PUBLIC HEARING AND AUTHORIZATION TO PUBLISH NOTICE OF SUCH HEARING FOR THE PURPOSE OF ADOPTING CONSTRUCTION AND MAINTENANCE SERVICES PREQUALIFICATION CRITERIA AND PROCEDURES; AND PROVIDING AN EFFECTIVE DATE

Ms. Holland explained District staff was interested in growing the “library” of prequalified contractors to provide construction and maintenance services for public infrastructure improvements. The District prequalified contractors in both 2021 and 2023, and the proposed resolution includes extending the previous prequalified contractors. This is the first step of the prequalification process. The submittal of the qualification package was included in the meeting books for Board consideration, and the proposed resolution includes setting a public hearing to authorize use of the qualification package. Should the Board approve the resolution, staff will notice the public hearing in accordance with the District’s Rules of Procedure. Ms. Holland recommended holding the public hearing at the next Board Meeting on December 2, 2025, in the Master Association meeting space. She explained the next steps of this multi-step process, noting that the holidays were upon us, which were included in the meeting book;

Ms. Holland noted for the record that the District planned to publish the advertisement on Collier County’s website rather than in the *Naples Daily News*. As a result, this requires submittals of bid responses electronically. Therefore, Ms. Holland needs to amend the qualification package to eliminate the one hard copy submittal and indicate electronic submittal only.

Mr. Casalanguida asked if there were any contractors we did not like or are not happy with. Ms. Holland responded there were not. The problem is that we have prequalified contractors but we cannot get them to respond to requests for bid, therefore we want to expand the library. Mr. Casalanguida explained that his reason for asking is that we do not want to renew a contract if we are not happy with the contractor. Ms. Holland stated that she appreciated Mr. Casalanguida’s question but confirmed that was not the case. She explained that the District needed more prequalified contractors. For example, O’Donnell Landscapes is the only prequalified contractor for landscape and irrigation.

Ms. Holland confirmed that she has over five firms interested in performing landscape and irrigation work in Ave Maria and hopes to qualify these firms in the next few months. Mr. Roth added that it would be nice to broaden the library. Mr. Roth asked if the public hearing would be online. Ms. Willson confirmed that it would be available via Zoom but Zoom attendees cannot normally participate; they need to submit comments prior to the meeting. Mr. Casalanguida asked about piggybacking with other municipalities. Ms. Willson confirmed that the District's Rules of Procedure allow for piggybacking. There was brief discussion amongst the Board Members.

A **motion** was made by Mr. Casalanguida, seconded by Mr. DiFlorio and passed unanimously approving Resolution No. 2025-31 – Adopting Construction and Maintenance Services Prequalification Criteria and Procedures and Setting a Public Hearing, considering the minor change noted above regarding the submittal process.

7. Discussion Regarding School Zone Speed Limit Signs on Seton Street

Ms. Holland explained that Supervisor DiFlorio requested this discussion and gave him the floor. Mr. DiFlorio stated that he agreed that “Stop” signs were not warranted for a 4-way stop at Seton Street and Battlecreek Way. He believes that there is something that can be done to improve safety at this intersection and make it safer for drivers and pedestrians. He suggested installing “school zone/flashing signs” to be installed on Seton Way. He would like to see the signs flashing between the hours of 7 am to 9 pm. Mr. Tryka responded by stating that he reviewed this area with the District Manager. He reminded the Board that this was a District project back in 2019 to make this area safer for drivers, pedestrians, and students. He explained that one of the signs that was previously installed ended up in a driveway as the home did not exist when the signage plan was installed. Mr. Tryka recommended that District staff ensure all signage and striping was installed per the 2019 plan, even if the signage location needed to be slightly adjusted. Mr. Tryka acknowledged that District staff recently installed 25 MPH signs on the bridge in an effort to slow down cars. Mr. DiFlorio stated that 25 MPH was too fast for this area. Mr. Tryka responded that changing speeds would require Collier County approval. He agreed that the District may be able to add the flashing signs on the 25 MPH speed limit signs, but possibly a hybrid sign that detects speed using radar. Mr. Tryka acknowledged the maintenance concerns with these types of signs. The Board unanimously agreed that staff should get pricing for the hybrid signage along with installing the signage/striping per the 2019 plans. Mr. Tryka also suggested that it may be beneficial to ask the school to potentially have a crossing guard present at this intersection, as that may help the situation as well.

K. ADMINISTRATIVE MATTERS

1. Legal Report

Ms. Willson had nothing further to report.

2. Engineer Report

Mr. Tryka had nothing further to report.

3. Manager's Report

a. Financials

Ms. Holland indicated that the financials were included in the meeting book, and they were also included in the amended budget that was approved earlier. She stated that the current fiscal year financials were off to a good start and they would be included in next month's meeting book.

L. FINAL PUBLIC COMMENTS

There were no further comments.

M. BOARD MEMBER COMMENTS

Mr. Casalanguida stated that he hoped to provide an update to the Board for consideration regarding the request for compensation from Collier County for funding the District roads. He hopes to initiate this conversation by December.

N. ADJOURNMENT

There being no further business to come before the Board, the Regular Board Meeting was adjourned at 5:13 p.m. by a **motion** made by Mr. Casalanguida, seconded by Ms. Robertson, and passed unanimously.

Secretary/Assistant Secretary

Chair/Vice-Chairman



Clerk of the Circuit Court and Comptroller - Crystal K. Kinzel
Collier County, Florida
3315 Tamiami Trail East, Ste. 102 - Naples, FL 34112-5324
Phone: (239) 252-2646

Affidavit of Publication

COLLIER COUNTY STATE OF FLORIDA

Before the undersigned authority personally appeared Martha Vergara, who on oath says that he or she is a Deputy Clerk of the Circuit Court of Collier County, Florida; that the attached copy of advertisement, Ave Maria Stewardship Community District Notice of Public Hearing & Regular Meeting 12/2/2025 was published on the publically accessible website <https://notices.collierclerk.com> as designated by Collier County, Florida on 11/21/2025 until 11/23/2025.

Affiant further says that the website complies with all legal requirements for publication in chapter 50, Florida Statutes.

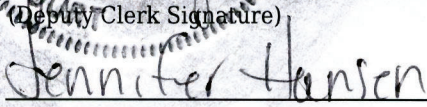

(Affiant Signature)


(Affiant Printed Name)

Sworn to and subscribed before me this 11/24/2025

Crystal K. Kinzel, Clerk of the Circuit Court & Comptroller


(Deputy Clerk Signature)


(Deputy Clerk Printed Name)


Date

**AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
NOTICE OF PUBLIC HEARING AND REGULAR BOARD MEETING
(DECEMBER 2, 2025)**

A public hearing of the Board of Supervisors ("Board") of the Ave Maria Stewardship Community District ("District") is scheduled to be held on December 2, 2025, at 4:00 p.m. at the Ave Maria Master Association, located at 5080 Annunciation Circle, Suite 101, Ave Maria, FL 34142, for the purpose of hearing comments and objections on the adoption of the District's proposed construction prequalification criteria and procedures. A regular board meeting of the District (the "Meeting") will also be held at that time where the Board may consider any other business that may properly come before it. The Meeting will also be available for viewing utilizing communications media technology ("Virtual Attendance") through the following login information, however public comment will only be available to those participating in person. Virtual Attendance is offered for convenience only and in the event there are interruptions in internet service or other technical difficulties the Meeting will continue at the physical location regardless of availability of the Virtual Attendance option.

Join by URL for VIDEO ACCESS at: <https://us02web.zoom.us/j/84779450200>

Meeting ID: 847 7945 0200

Join by PHONE at: 1-929-436-2866

Meeting ID: 847 7945 0200

A copy of the agenda for this meeting may be obtained from Special District Services, Inc., 2501A Burns Road, Palm Beach Gardens, Florida 33410, 561-630-4922 ("District Manager's Office"). The public hearing and Meeting is open to the public and will be conducted in accordance with provisions of Florida law. The public hearing and Meeting may be continued to a date, time, and place to be specified on the record at the meeting. There may be occasions when one or more Supervisors or District Staff will participate by telephone or other communications media technology.

Any person requiring special accommodations at this meeting because of a disability or physical impairment should contact the District Manager's Office at least forty-eight (48) hours prior to the meeting. If you are hearing or speech impaired, please contact the Florida Relay Service by dialing 7-1-1, or 1-800-955-8771 (TTY) / 1-800-955-8770 (Voice), for aid in contacting the District Manager's Office.

Each person who decides to appeal any decision made by the Board with respect to any matter considered at the public hearing or meeting is advised that person will need a record of proceedings and that accordingly, the person may need to ensure that a verbatim record of the proceedings is made, including the testimony and evidence upon which such appeal is to be based.

Allyson Holland
District Manager

AVE MARIA STEWARDSHIP COMMUNITY DISTRICT

www.avemariastewardshipcd.org

**PUBLISH: COLLIER COUNTY WEBSITE: BEGINNING AT MIDNIGHT ON FRIDAY,
11/21/25 & EXPIRING AT MIDNIGHT ON SUNDAY, 11/23/25**

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 21, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Resolution adopting prequalification criteria and procedures, and appointing an evaluation committee.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors approve the Resolution adopting prequalification criteria and procedures, and appointing an evaluation committee.

GENERAL INFORMATION

At the November 5, 2025 Regular Board Meeting, the Board unanimously authorized staff to begin the process to prequalify contractors to provide construction and maintenance services for public infrastructure improvements. The prequalification criteria is included with the Resolution and it has not changed since the November meeting with the exception of requiring only an electronic submittal (no paper copies). Staff requests the Board's approval of the prequalification criteria and suggests the following individuals for the evaluation committee:

Allyson Holland, District Manager
Donny Diaz, District Operations Manager
Ted Tryka, District Engineer
Tim Schlieff, AMUC Maintenance and Construction Manager

The next steps include:

- Following the public hearing, staff will notice the Request for Qualifications (RFQ) for prequalification submittals to be published.
- Qualifications are due 30 days from the date the notice runs (~mid-January).
- Hold evaluation committee meeting (prior to February meeting), and prepare written recommendation for the Board.
- February Board meeting – Board considers qualification submittals and adopts Resolution adopting prequalified contractor list. Then staff provides notice to prequalified contractors.

PROCUREMENT REVIEW

In accordance with Rules of Procedure.

DISTRICT ENGINEER REVIEW

The District Engineer has reviewed and approved the Resolution.

DISTRICT LEGAL COUNSEL REVIEW

The District Legal Counsel has reviewed and approved the Resolution.

FUNDING REVIEW

Not applicable

Attachments

RESOLUTION 2025-31

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT ADOPTING PREQUALIFICATION CRITERIA AND PROCEDURES; APPOINTING AN EVALUATION COMMITTEE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Ave Maria Stewardship Community District (“District”) is a local unit of special-purpose government created and existing pursuant to Chapter 2004-461, Laws of Florida, as amended (the “Act”); and

WHEREAS, the Act authorizes the District to construct, install, acquire, operate and/or maintain systems and facilities for certain basic public infrastructure; and

WHEREAS, the District’s Board of Supervisors (“Board”) held a publicly noticed, public hearing in accordance with its Rules of Procedure and finds it is in the District’s best interests to prequalify contractors for construction and maintenance services pursuant to the Prequalification Criteria and Procedures attached hereto as **Exhibit A**, its Rules of Procedure and Chapter 255, Florida Statutes; and

WHEREAS, the Board desires to appoint an evaluation committee to review and evaluate the qualifications received and provide a recommendation to the Board and authorizes scheduling a meeting of the evaluation committee regarding same; and

WHEREAS, the Board further desires to authorize entities submitting qualifications to submit bids in response to any District invitation to bid open during this prequalification period in a category in which such entity is submitting qualifications.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT:

SECTION 1. All of the representations, findings and determinations contained above are recognized as true and accurate and are expressly incorporated into this Resolution.

SECTION 2. The attached Prequalification Criteria and Procedures are hereby adopted pursuant to this resolution. Further the Board hereby appoints the following committee to review and evaluate the qualifications, which committee will provide a recommendation to the Board for its consideration and final action:

Allyson Holland, District Manager
Donny Diaz, District Operations Manager

Ted Tryka, District Engineer
Tim Schlieff, AMUC Maintenance and
Construction Manager

The District Manager is hereby authorized to schedule and publish a notice of meeting of the evaluation committee. Finally, the Board authorizes District staff to solicit bids from any entity submitting qualifications for projects within such entity's desired qualification category. Consideration and award of any bid shall be contingent upon entity being deemed prequalified.

SECTION 3. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 4. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 2nd day of December, 2025.

ATTEST:

**AVE MARIA STEWARDSHIP
COMMUNITY DISTRICT**

Secretary

Chairman/Vice Chairman

Exhibit A: Prequalification Criteria and Procedures

AVE MARIA STEWARDSHIP COMMUNITY DISTRICT

**CONTRACTOR'S PREQUALIFICATION STATEMENT
(CONSTRUCTION OF PUBLIC INFRASTRUCTURE IMPROVEMENTS AND
MAINTENANCE SERVICES)**

Contractor

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AFFIDAVIT FOR CORPORATION

SWORN STATEMENT UNDER SECTION 287.133(3)(A),
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

CONTRACTOR CLASSIFICATION LISTING

DETERMINATION OF QUALIFIED PROSPECTIVE BIDDER

**REQUEST FOR QUALIFICATIONS
FOR CONSTRUCTION AND MAINTENANCE SERVICES
AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
COLLIER COUNTY, FLORIDA**

The Ave Maria Stewardship Community District (“District”) requests Applications for Qualification from firms interested in providing construction and maintenance services for public infrastructure improvements. Upcoming projects include the construction of various infrastructure improvements and maintenance services in and around the District including construction of roadways, stormwater management facilities, irrigation facilities, earthwork, landscape, hardscape, street lighting/electrical, and other public improvements and maintenance services including exotic vegetation removal and lake and littoral maintenance. With the exception of landscaping, construction projects may include maintenance of existing infrastructure.

To be eligible to submit qualifications, firms must hold all required applicable licenses in good standing and be authorized to do business in the Collier County, and the State of Florida.

Applicants may request an Application for Qualification from Ave Maria Stewardship Community District, 5080 Annunciation Circle, Suite 101, Ave Maria, Florida 34142, or via email to aholland@sdsinc.org beginning _____, _____, 202____, after **12:00 p.m.** Applicants must submit one (1) electronic copy of the Application for Qualification by **3:00 p.m.** on _____, _____, 202____. Address responses to: Ms. Allyson Holland, District Manager, via email to aholland@sdsinc.org.

Qualified firms will be selected based on experience, qualifications of personnel, and ability to perform construction or maintenance services. Packages will be reviewed and rated by a committee appointed by the District Board of Supervisors, with final selected expected to be made at a publicly noticed Board of Supervisors meeting as soon as practicable after receipt of the recommendations of the Committee appointed by the Board to evaluate the submitted packages. At that time, all qualified firms may be assigned a project qualification for work under District contracts. All applicants will be promptly notified after the construction and maintenance firms are selected. The pre-qualification decisions of the Board of Supervisors shall be valid for a period of three (3) years, after which the Board of Supervisors may either extend the prequalification period for an additional two (2) years or open the prequalification process again, at its sole discretion. The District reserves the right to waive any informality in the qualifications submitted, to reject any and all qualifications submitted and to advertise for the services.

Pre-qualified firms will be eligible to bid on construction and maintenance projects subject to the applicants approved project classification and aggregate limit. Failure to pre-qualify may preclude the District from awarding contracts for construction and maintenance services to non-qualified firms.

Applicants may contact the District Manager, at Ave Maria Stewardship Community District, 5080 Annunciation Circle, Suite 101, Ave Maria, Florida 34142 or via email to aholland@sdsinc.org, until the qualifications submittal deadline for further information. All requests for information shall be in writing.

Allyson Holland, District Manager

Publication Date: _____, 202____

NOTICE TO PROSPECTIVE BIDDERS

The information required herein is for the purpose of fairly evaluating contractor qualifications to perform various construction and maintenance activities for the Ave Maria Stewardship Community District (the "District").

APPLICANTS FOR PREQUALIFICATION AS BIDDERS FOR THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT CONTRACTS ARE HEREBY NOTIFIED THAT INCLUSION OF FALSE, DECEPTIVE OR FRAUDULENT STATEMENTS ON THIS APPLICATION CONSTITUTES FRAUD. FURTHERMORE, YOU ARE HEREWITH NOTIFIED THAT THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT CONSIDERS SUCH ACTION ON THE PART OF THE APPLICANT TO CONSTITUTE GOOD CAUSE FOR DENIAL, SUSPENSION, OR REVOCATION OF THE PROSPECTIVE BIDDER'S QUALIFICATION FOR BIDDING ON ITS PROJECTS.

Please be advised that this application must be complete within itself without reference to any other application or statement. All sections of the application shall be completed. If any of the requested information does not apply, it shall be indicated as "None" or "N.A." as applicable. Failure to make entries in every section of this application may result in a disqualification.

All financial information provided in this application and accompanying audited financial statements are exempt from public record laws pursuant to Section 119.071(1)(c), Florida Statutes, and will be kept confidential. District can request annual audits and annual resubmittal of any or all financial statements from any prequalified contractor.

The properly completed Contractor's Prequalification Statement shall be submitted to Ave Maria Stewardship Community District, 5080 Annunciation Circle, Suite 101, Ave Maria, Florida 34142. Any questions with regard to the requests for information contained herein shall be addressed to Ms. Allyson Holland, District Manager, Ave Maria Stewardship Community District, 5080 Annunciation Circle, Suite 101, Ave Maria, Florida 34142, or via email to aholland@sdsinc.org.

**Ave Maria Stewardship Community District
Minimum Contractor Qualifications
For Public Infrastructure Improvements**

Contractor: _____ Contact: _____

Address: _____

Phone: _____ Email: _____

Typical Work Description: Construction of Public Infrastructure Improvements may include earthwork, paving, drainage, irrigation, landscaping, hardscaping, street lighting/electrical, roadway improvements and all work associated with these types of activities; maintenance services include exotic vegetation removal and lake and littoral maintenance. With the exception of landscaping, construction projects may include maintenance of existing infrastructure.

Owner: Ave Maria Stewardship Community District

Certification: I acknowledge that the Ave Maria Stewardship Community District has the right to deny, suspend or revoke a prospective bidder's qualification for bidding on the Public Infrastructure Construction and Maintenance Services based upon the Determination of Qualified Prospective Bidder information contained herein.

Signature

Print Name

Title

Date

Application for Contractor Prequalification
(Attach Additional Sheets if Necessary)

1. Applicant _____ /_/_ A Partnership
[Company Name] /_/_ A Corporation
 /_/_ A Subsidiary Corporation

2. Parent Company Name _____

3. Parent Company Address:

Street Address _____

P. O. Box (if any) _____

City _____ State _____ Zip Code _____

Telephone _____

1st Contact Name _____ Title _____

2nd Contact Name _____ Title _____

4. Applicant Company Address (if different):

Street Address _____

P. O. Box (if any) _____

City _____ State _____ Zip Code _____

Telephone _____

1st Contact Name _____ Title _____

2nd Contact Name _____ Title _____

5. List the location of the office from which the applicant would perform work for the Ave Maria Stewardship Community District work.

Street Address _____

City _____ State _____ Zip Code _____

Telephone _____

1st Contract Name _____ Title _____

6. Is the applicant Company incorporated in the State of Florida? yes () no ()
- 6.1 If yes, provide the following:
- o Is the Company in good standing with the Florida Department of State Division of Corporations? yes () no ()
If no, please explain _____

 - o Date incorporated _____ Charter No. _____
- 6.2 If no, provide the following:
- o The State with whom the applicant company is incorporated in? _____
 - o Is the company in good standing with the State? yes () no ()
In no, please explain _____

 - o Date incorporated _____ Charter No. _____
 - o Is the applicant company authorized to do business in the State of Florida? yes () no ()
7. Is the applicant Company a registered or licensed contractor with the State of Florida? yes () no ()
Provide copies of all licenses listed.
- 7.1 If yes, provide the following:
- o Type of registration (i.e. certified general contractor, certified electrical contractor, etc.) _____
_____.
 - o License No. _____ Expiration Date _____
 - o Qualifying individual _____ Title _____
 - o List company(s) currently qualified under this license _____

- 7.2 Is the applicant Company a registered or licensed Contractor with Collier County? yes () no ()
- 7.3 Has the applicant Company performed work for an independent special district previously? yes () no ()

8. Is the applicant company prequalified by the Florida Department of Transportation? yes () no ()

If yes, provide the following:

o Work Class Ratings _____

o Maximum Capacity Rating _____

9. Name of Applicant's Bonding Company _____

Address _____

Approved Bonding Capacities: Aggregate Limit \$ _____
Single Project Limit \$ _____
Total Current Contracts Bonded \$ _____

Note: All bonds and insurance policies obtained by Applicant required herein shall be issued by companies authorized to do business in the State of Florida and shall have a financial strength rating of A or better, and a financial size category of X or higher, as rated by A.M. Best Company.

Name of Applicant's Bonding Agency _____

Address _____

Contact Name _____ Phone _____

10. List the Applicant's total annual dollar value of work completed for each of the last three (3) years starting with the latest year and ending with the most current year (2023) _____ (2024) _____, (2025) _____

11. List the classification(s) (refer to attached listing) of work the applicant is applying for prequalification based on the applicant company's ability to self perform the work (excluding general contracting).

12. What are the applicant company's current insurance limits? If contractor does not have a certain category of coverage listed below, please note none. (provide a copy of applicant's certificate of insurance)

General Liability \$ _____
Automobile Liability \$ _____
Workers Compensation \$ _____
Contractor's Pollution Liability \$ _____
Umbrella Liability/Excess Liability \$ _____
Contractors Additional Insured Status

- General Liability _____
- Auto Liability _____

Per Project Aggregate Limit
- General Liability _____

Waiver of Subrogation in favor of District
- General Liability _____
- Auto Liability _____
- Workers' Compensation _____

Expiration Date _____

Note: Applicant must provide a certification that their insurance carrier is authorized to conduct business in Florida. Coverage must be provided on a primary, non-contributory basis.

13. Has the applicant company been cited by OSHA for any job site or company office/shop safety violations in the past two years? yes () no ()

If yes, please describe each violation, fine, and resolution _____

13.1 What is the applicant's current worker compensation rating? _____

- 13.2 Has the applicant company experienced any worker injuries resulting in a worker losing more than ten (10) working days as a result of the injury in the past two years? yes () no ()

If yes, please describe each incident _____

14. Please state whether or not your company or any of its affiliates are presently barred or suspended from bidding or contracting on any state, local or federal-aid contracts in any state(s)? Yes _____ No _____ If so, state the name(s) of the company(ies)

the state(s) where barred or suspended _____

and the period(s) of debarment or suspension _____

15. What is the construction or maintenance experience of the principal supervisory construction or maintenance personnel of your organization? (Attach resumes here.)

| INDIVIDUAL'S NAME | PRESENT POSITION OR OFFICE | MAGNITUDE AND TYPE OF WORK* | YEARS OF CONSTRUCTION /MAINTENANCE EXPERIENCE | YEARS WITH FIRM | IN WHAT CAPACITY? |
|----------------------|----------------------------------|-----------------------------------|--|-----------------------|----------------------|
| | | | | | |
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*Give in sufficient detail for the District to evaluate your experience in the classifications of work for which you are requesting prequalification.

16. Have you ever failed to complete any work awarded to you? Yes _____ No _____ If so, where and why? _____

17. Has any officer or partner of your organization ever been an officer, partner, or owner of some other organization that has failed to complete a construction or maintenance contract? Yes _____ No _____ If so, state name of individual, other organization and reason therefore.

18. List any and all litigation with owners or major subcontractors to which the Applicant has been a party in the last five (5) years and describe the outcome or resolution.

19. Has the Applicant or any of its affiliates ever been either disqualified or denied prequalification status by a governmental entity? _____ If so, discuss the circumstances surrounding such denial or disqualification as well as the date thereof.

20. Within the past five (5) years, has the Applicant failed to complete a project within the scheduled contract time? _____ If so, discuss the circumstances surrounding such failure to complete a project on time as well as the date thereof.

21. Does the Applicant have adequate equipment to perform normal construction or maintenance operations for each class of work for which prequalification is sought? Yes _____ No _____ If no, please explain:

INCLUDE THE FOLLOWING INFORMATION WITH THIS APPLICATION:

1. Applicants shall provide letters of recommendation from at least two agencies or firms with direct knowledge of the applicant's key personnel and work performance in sufficient detail to assist in rating the applicant's ability to perform the classification of work for which the applicant is applying for prequalification. The letters must contain specific information regarding the following:
 - (a) Specific projects, including project numbers and location.
 - (b) Size of projects by dollar value.
 - (c) Description of projects and classes of work performed with applicant's own employees and equipment.
 - (d) Whether projects were timely completed.
 - (e) Whether the applicant was cooperative and facilitated changes to the project when required.

(Continued)

Any contractor submitting a Contractor's Prequalification Statement, which in its judgment is adversely affected by the District's rating as to the contractor's qualifications and wishes to protest such decision must file with the District a notice of protest in writing within seventy-two (72) hours (excluding Saturdays, Sundays and state holidays) after receipt of the notice of the District's ranking, and shall file a formal written protest within seven (7) days (including Saturdays, Sundays and state holidays) after the date of filing of the notice of protest. The formal written protest shall state with particularity facts and law upon which the protest is based. **Failure to timely file a notice of protest or failure to timely file a formal written protest shall constitute a waiver of all further proceedings under Florida law and the District's Rules of Procedure.** You may obtain a copy of the District's Rules of Procedure by contacting the District Manager's Office at 2501A Burns Road, Palm Beach Gardens, Florida 33410 .

The undersigned hereby authorize(s) and request(s) any person, firm or corporation to furnish any pertinent information requested by the Ave Maria Stewardship Community District, or their authorized agents, deemed necessary to verify the statements made in this application or attachments hereto, or necessary to determine whether the Ave Maria Stewardship Community District should prequalify the applicant for bidding on its construction or maintenance projects, including such matters as the applicant's ability, standing, integrity, quality of performance, efficiency and general reputation

The Ave Maria Stewardship Community District can terminate its use of the prequalification list for bidding purposes at any time.

Name of Applicant Company

By: _____

[Type Name and Title of Person Signing]

This _____ day of _____, 2023

(Corporate Seal)

Sworn to before me this _____ day of _____, 202__.

Notary Public/Expiration Date
(Seal)

Applicant acknowledges receipt of the following addenda:

Addendum No. _____

Date _____

Addendum No. _____

Date _____

AFFIDAVIT FOR INDIVIDUAL

State of _____ ss:

County of _____

_____, being duly sworn, deposes and says that the statements and answers to the questions concerning experience contained herein are correct and true as of this date; and that he/she understands that intentional inclusion of false, deceptive or fraudulent statements on this application constitutes fraud; and, that the District considers such action on the part of the applicant to constitute good cause for denial, suspension or revocation of a certificate of qualification for bidding on Ave Maria Stewardship Community District projects.

Signature

Print Name

Sworn to before me this _____ day of _____, 202__.

Notary Public/Expiration Date:

(SEAL)

AFFIDAVIT FOR PARTNERSHIP

State of _____ ss:

County of _____

_____, is a member of the firm of _____,
being duly sworn, deposes and says that the statements and answers to the questions of the foregoing experience
questionnaire are correct and true as of the date of this affidavit; and, that he/she understands that intentional
inclusion of false, deceptive or fraudulent statements on this application constitutes fraud; and, that the District
considers such action on the part of the applicant to constitute good cause for denial, suspension or revocation of a
certificate of qualification for bidding on Ave Maria Stewardship Community District projects.

Signature

Print Name

Sworn to before me this _____ day of _____, 202__.

Notary Public/Expiration Date:

(SEAL)

AFFIDAVIT FOR CORPORATION

State of _____ ss:

County of _____

(title) _____
of the _____

(a corporation described herein) being duly sworn, deposes and says that the statements and answers to the questions in the foregoing concerning experience are correct and true as of the date of this affidavit; and, that he/she understands that intentional inclusion of false, deceptive or fraudulent statements in this application constitutes fraud; and, that the District considers such action on the part of the applicant to constitute good cause for denial, suspension or revocation of a certificate of qualification for bidding on Ave Maria Stewardship Community District projects.

(Officer must sign here)

Print Name

CORPORATE SEAL

Sworn to before me this _____ day of _____, 202__.

Notary Public/Expiration Date:

(SEAL)

SWORN STATEMENT UNDER SECTION 287.133(3)(a),
FLORIDA STATUTES, ON PUBLIC ENTITY CRIMES

THIS FORM MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC OR OTHER OFFICER
AUTHORIZED TO ADMINISTER OATHS.

1. This sworn statement is submitted to Ave Maria Stewardship Community District for Prequalification of Construction and/or Maintenance Contractors.
2. This sworn statement is submitted by _____
[Print Name of Entity Submitting Sworn Statement]
whose business address is _____
and (if applicable) its Federal Employer Identification Number (FEIN) is _____
(If the entity has no FEIN, include the Social Security Number of the individual signing this
sworn statement: _____.)
3. My name is _____ and my relationship to the
entity named above is _____.
4. I understand that a "public entity crime" as defined in Section 287.133(1)(g), Florida Statutes, means a violation of any state or federal law by a person with respect to and directly related to the transaction of business with any public entity or with an agency or political subdivision of any other state or with the United States, including, but not limited to, any bid or contract for goods or services to be provided to any public entity or an agency or political subdivision of any other state or of the United States and involving antitrust, fraud, theft, bribery, collusion, racketeering, conspiracy, or material misrepresentation.
5. I understand that "convicted" or "conviction" as defined in Section 287.133(1)(b), Florida Statutes, means a finding of guilt or a conviction of a public entity crime, with or without an adjudication of guilt, in any federal or state trial court of record relating to charges brought by indictment or information after July 1, 1989, as a result of jury verdict, nonjury trial, or entry of a plea of guilty or nolo contendere.
6. I understand that an "affiliate" as defined in Section 287.133(1)(a), Florida Statutes, means:
 1. A predecessor or successor of a person convicted of a public entity crime; or,
 2. An entity under the control of any natural person who is active in the management of the entity and who has been convicted of a public entity crime. The term "affiliate" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in the management of an affiliate. The ownership by one person of shares constituting a controlling interest in another person, or a pooling of equipment or income among persons when not for fair market value under an arm's length agreement, shall be a prima facie case that one person controls another person. A person who knowingly enters into a joint venture with a person who has been convicted of a public entity crime in Florida during the preceding 36 months shall be considered an affiliate.
7. I understand that a "person" as defined in Section 287.133(1)(e), Florida Statutes, means any natural person or entity organized under the laws of any state or of the United States with the legal power to enter into a binding contract and which bids or applies to bid on contracts for the provision of goods or services let by a public entity, or which otherwise transacts or applies to transact business with a public entity. The term "person" includes those officers, directors, executives, partners, shareholders, employees, members, and agents who are active in management of an entity.

8. Based on information and belief, the statement which I have marked below is true in relation to the entity submitting this sworn statement. (Please indicate which statement applies.)

_____ Neither the entity submitting this sworn statement, nor any officers, directors, executives, partners, shareholders, employees, members, or agents who are active in management of the entity, nor any affiliate of the entity, have been charged with and convicted of a public entity crime subsequent to July 1, 1989.

_____ The entity submitting this sworn statement, or one or more of the officers, directors, executives, partners, shareholders, employees, members or agents who are active in management of the entity or an affiliate of the entity, has been charged with and convicted of a public entity crime subsequent to July 1, 1989, AND (please indicate which additional statement applies):

_____ There has been a proceeding concerning the conviction before an Administrative Law Judge of the State of Florida, Division of Administrative Hearings. The final order entered by the Administrative Law Judge did not place the person or affiliate on the convicted vendor list. (Please attach a copy of the final order.)

_____ The person or affiliate was placed on the convicted vendor list. There has been a subsequent proceeding before an Administrative Law Judge of the State of Florida, Division of Administrative Hearings. The final order entered by the Administrative Law Judge determined that it was in the public interest to remove the person or affiliate from the convicted vendor list. (Please attach a copy of the final order.)

_____ The person or affiliate has not been placed on the convicted vendor list. (Please describe any action taken by or pending with the Florida Department of Management Services.)

Signature

Print Name

Date: _____

STATE OF _____

COUNTY OF _____

PERSONALLY APPEARED BEFORE ME, the undersigned authority, _____

_____ who, after first being sworn by me, affixed his/her signature in the
(name of individual signing)

space provided above on this _____ day of _____ 202__.

NOTARY PUBLIC

My commission expires:

**AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
CONTRACTOR CLASSIFICATION LISTING**

- | | |
|-------------------------------|----------------------------------|
| 1. Excavation/Earthwork | 7. Stormwater Management |
| 2. Road Paving | 8. Exotic Vegetation Removal |
| 3. Landscape | 9. Lake and Littoral Maintenance |
| 4. Irrigation | |
| 5. Hardscape | |
| 6. Street Lighting/Electrical | |

DETERMINATION OF QUALIFIED PROSPECTIVE BIDDER

The Ave Maria Stewardship Community District ("District") is authorized to maintain a list of qualified contractors ("Qualified Prospective Contractors") to submit bids for the procurement of District construction and maintenance projects. Any Qualified Prospective Contractor desiring to submit a bid to provide work for the District must submit a properly completed Contractor's Prequalification Statement to the District Engineer for review and evaluation. **Submittal of the Contractor's Prequalification Statement shall occur prior to the bidding process.**

The District shall evaluate the Contractor's Prequalification Statement and based on the District's judgment of the information provided, shall issue in writing to the contractor, the District's rating as to the classification(s) of the Work and the maximum Bid dollar amount for which the Qualified Prospective Contractor can submit a Bid to the District.

A Qualified Prospective Contractor shall mean a prospective contractor which in the sole judgment of the District has the capability, in all respects, to perform fully the contract requirements, and the business integrity and reliability which will assure good faith performance. In determining the Qualified Prospective Contractor's qualifications, the following criteria will be considered:

- The ability, capacity, and skill of the contractor to perform the contract or provide the work required;
- Whether the contractor can perform the contract or provide the work promptly, or within the time specified, without delay or interference;
- The character, integrity, reputation, judgment, experience, and efficiency of the contractor;
- The quality of performance of previous contract or work. For example, the following information will be considered:
 - o The cost overrun incurred by owners on previous contracts with contractor;
 - o The contractor's compliance record with contract general conditions on other projects;
 - o The contractor's record for completion of the work within the Contract Time or within Contract Milestones and contractor's compliance with scheduling and coordination requirements on other projects;
 - o The quality, availability, and adaptability of the goods or work to the particular use required;
 - o The contractor's demonstrated cooperation with owners, architects, engineers, and others on previous contracts; and;
 - o Whether the work performed and materials furnished on other contracts were in accordance with the contract documents; and
 - o Whether contractor has performed previous work for an independent special district.
- The previous and existing compliance by the contractor with laws and ordinances relating to contracts or work;
- The sufficiency of the financial resources and ability of the contractor to perform the contract or provide the work;
- The ability of the contractor to fulfill its guarantee and warranty period;
- Such other information as may be secured by the Board having a bearing on the decision to award a contract to include, but not be limited to:
 - o The ability, experience, and commitment of the contractor to properly and reasonably plan, schedule, coordinate, and execute the work; and,

- o Whether the contractor has ever been debarred from bidding or found ineligible for bidding on any other projects.
- The District will make such inquiries and investigations as deemed necessary to verify and evaluate the applicant's statements regarding:
 - o The necessary organization and management including experience possessed by the applicant's employees;
 - o Adequate equipment, as shown on the equipment list, to perform normal operations for each class of work in the industry such as that called for in the contract documents in force at the time of application;

If herein required, or if requested by the District at any time after the conclusion of the initial pre-qualification process, the Qualified Prospective Contractor shall submit a certified financial statement(s) in a form acceptable to the District, prepared no later than the past 180 days, indicating current financial resources, current bonding capacity, liabilities, capital equipment, and past financial history performance. Based on this updated financial information, the District, in its sole discretion, may adjust the Qualified Prospective Contractor's Prequalification contract limits or deem the Qualified Prospective Contractor no longer qualified with respect to future District Public Infrastructure projects. In this instance, the Qualified Prospective Contractor acknowledges the right of the District to refuse acceptance of a bid from any Qualified Prospective Contractor who fails to submit to the District documentation that may be required by the District. In such a case, such bid shall be rejected as non-responsive.

Furthermore, a Qualified Prospective Contractor acknowledges the right of the District to determine a Qualified Prospective Contractor to be not qualified to submit a Bid in response to the District's Advertisement for Bids at the sole determination of the District for, but not necessarily limited to, any of the following specific reasons:

- Failure to submit a properly completed Contractor's Prequalification Statement in accordance with the above requirements;
- Failure of the Qualified Prospective Contractor's rating by the District as to classification of the Work and the maximum Bid dollar amount to meet the requirements of the Bid;
- Reason to believe that collusion exists among Bidders;
- Determination of lack of competency as may be revealed by qualification statements, financial statements, experience records, or other sources;
- The Qualified Prospective Contractor's uncompleted work load which, in the judgment of the Board, may cause detrimental impact on timely completion of the project being bid; or
- The Qualified Prospective Contractor's Surety is unacceptable to District.
- Submission of excessive or unreasonable suggested modifications to the District's Standard Form of Construction or Maintenance Contract.

Any contractor submitting a Contractor's Prequalification Statement, which in its judgment is adversely affected by the District's rating as to the contractor's qualifications and wishes to protest such decision must file with the District a notice of protest in writing within seventy-two (72) hours (excluding Saturdays, Sundays and state holidays) after receipt of the notice of the District's ranking, and shall file a formal written protest within seven (7) days (including Saturdays, Sundays and state holidays) after the date of filing of the notice of protest. The formal written protest shall state with particularity facts and law upon which the protest is based. **Failure to timely file a notice of protest or failure to timely file a formal written protest shall constitute a waiver of all further proceedings under Florida law and the District's Rules of Procedure.** You may obtain a copy of the District's Rules of Procedure by contacting the District Manager's Office at 2501A Burns Road, Palm Beach Gardens, FL 33410.

| Project Name and Date Appeared on List | Start Date | End Date | % Complete | Est. Cost | Cost Under Contract (to-date) *denotes approximate cost | Funding Source | EOR/Vendor | Responsible Party | Comments |
|---|---------------------|--|--|--------------|--|--|----------------|----------------------------------|--|
| Anthem Parkway Ph 5A (North Park to Avalon) 6/7/2022 | 2nd quarter 2023 | Anthem Parkway Roadway: Q4 2025 IPS #4: Q2 2026 | 100% Design 90% Construction | \$10,264,854 | *\$13,100,000 | 2023 Bonds and future 2025 Bond Issuance | Daniel Hartley | Allyson Holland (District) | Phase 5A: Project is complete minus final lift of asphalt from Sta 7+00 to end (final lift and final striping to be installed at a later date). Certification to County has been submitted for Preliminary Acceptance. IPS4: Irrigation station and wastewater station wetwells have been installed. Testing for irrigation pump house slab in progress, with slab install anticipated for 12/8. Irrigation pump station slated for delivery on 12/11. Lake excavation has commenced. |
| Anthem Parkway Ph 5B (Includes roundabout at PJPII) 6/7/2022 | 1st quarter 2025 | 2nd Quarter 2026 | 100% Design 30% Construction | \$8,394,852 | *\$9,609,525 | 2023 Bonds and future 2025 Bond Issuance | Daniel Hartley | Allyson Holland (District) | 1st lift of asphalt installed at PJP2 roundabout and south of PJP2. Roadway curb installation north of roundabout is approximately 70% complete. Asphalt on that portion of roadway will be installed mid-December. Construction Phasing Plan approved by Collier County to allow acceptance of Phase 5B-1 separately from remainder of roadway. Remainder of roadway north under construction with fill material delivery ongoing. Utility, drainage, and roadway for all of Phase 5B anticipated to be completed by Q1 2026, with final landscaping, lighting, and hardscape features anticipated completion by Q2 2026. |
| Arthex Commerce Park Phase 2 5/7/2024 | 2/1/2024 | 3/1/2026 | 100% Design 85% Construction | \$2,402,283 | \$2,426,195 | Developer Contribution Agreement, partial 2023 bonds, and future 2025 bonds | David Hurst | AMD and District | Lake excavation is complete and road is paved. Filling of berm is ongoing. Berm landscape will commence after berm is complete. Project has been sub-phased so lake and road can be certified complete by Collier County while the berm is still being filled. Phase 2A landscape installation in progress. Inspections and subsequent transfer to the District for that sub-phase will occur after that. |
| Athrex Commerce Park Phase 3 12/26/2024 | 4/1/2025 | 12/1/2026 | Mass Grading/Excavation 100% w/ pending modifications, 5% Construction | TBD | Earthwork/Mass Grading Only - \$2,045,036.80 | 2025 Bonds | David Hurst | AMD and District | The first phase of earthwork (i.e. lake excavation and mass grading) began in May. The roadway and utility permit applications were submitted and are under review. |
| Purchasing Policy 1/23/2025 | 1/30/2025 | 6/30/2026 | 10% | TBD | TBD | N/A | N/A | Allyson Holland (District) | District manager is working with Legal Counsel to put together a more robust purchasing policy. |
| Distrct Website Update 1/23/2025 | 1/23/2025 | 6/30/2026 | 30% | TBD | TBD | N/A | GSMA | Allyson Holland (District) | Updates to website continue. |
| Crosswalk Analysis 8/27/2025 | 6/1/2025 | 12/30/2025 | 90% | TBD | \$22,000 | FY 24/25 O&M Budget / Developer Contribution Agreement | Kimley Horn | Allyson Holland (District) | Kimley Horn will present to Board at Dec 2, 2025 meeting. Board to provide direction for intersection improvements. |

RESOLUTION 2025-32

A RESOLUTION OF THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT RATIFYING, CONFIRMING, AND APPROVING THE SALE OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT CAPITAL IMPROVEMENT REVENUE BONDS, SERIES 2025; RATIFYING, CONFIRMING, AND APPROVING THE ACTIONS OF THE CHAIRMAN, VICE CHAIRMAN, TREASURER, SECRETARY, ASSISTANT SECRETARIES, AND ALL DISTRICT STAFF REGARDING THE SALE AND CLOSING OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT CAPITAL IMPROVEMENT REVENUE BONDS, SERIES 2025; DETERMINING SUCH ACTIONS AS BEING IN ACCORDANCE WITH THE AUTHORIZATION GRANTED BY THE BOARD; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Ave Maria Stewardship Community District (the “District”), is a local unit of special-purpose government created and existing pursuant to Chapter 2004-461, Laws of Florida; and

WHEREAS, the District previously adopted resolutions authorizing the issuance and the negotiated sale of bonds within the scope of Chapter 2004-461, Laws of Florida, including its \$29,255,000 Ave Maria Stewardship Community District Capital Improvement Revenue Bonds, Series 2025 (Phase 5 Master Improvements Project) (the “Series 2025 Bonds”); and

WHEREAS, the District closed on the sale of the Series 2025 Bonds on November 12, 2025; and

WHEREAS, as prerequisites to the issuance of the Series 2025 Bonds, the Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff including the District Manager, District Methodology Consultant, and District Counsel were required to execute and deliver various documents (the “Closing Documents”); and

WHEREAS, the District desires to ratify, confirm, and approve all actions of the District Chairman, Vice Chairman, Treasurer, Assistant Secretaries, and District Staff in closing the sale of the Series 2025 Bonds.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF SUPERVISORS OF THE AVE MARIA STEWARDSHIP COMMUNITY DISTRICT:

SECTION 1. The sale, issuance, and closing of the Series 2025 Bonds is in the best interests of the District.

SECTION 2. The issuance and sale of the Series 2025 Bonds, the adoption of resolutions relating to such bonds, and all actions taken in the furtherance of the closing on such bonds, are hereby declared and affirmed as being in the best interests of the District and are hereby ratified, approved, and confirmed.

SECTION 3. The actions of the Chairman, Vice Chairman, Treasurer, Secretary, Assistant Secretaries, and all District Staff in finalizing the closing and issuance of the Series 2025 Bonds, including the execution and delivery of the Closing Documents, and such other certifications or other documents required for the closing on the Series 2025 Bonds, are determined to be in accordance with the prior authorizations of the Board and are hereby ratified, approved, and confirmed in all respects.

SECTION 4. If any provision of this Resolution is held to be illegal or invalid, the other provisions shall remain in full force and effect.

SECTION 5. This Resolution shall become effective upon its passage and shall remain in effect unless rescinded or repealed.

PASSED AND ADOPTED this 2nd day of December, 2025.

ATTEST:

**AVE MARIA STEWARDSHIP COMMUNITY
DISTRICT**

Secretary/Assistant Secretary

Chairman, Board of Supervisors

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 21, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Receive update regarding the landscape and hardscape elements inside the central island of the new roundabout at Pope John Paul II Blvd and Anthem Parkway.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors receive an update regarding the landscape and hardscape elements inside the central island of the new roundabout at Pope John Paul II Blvd and Anthem Parkway.

GENERAL INFORMATION

At the October 10, 2025 Regular Board Meeting, Mr. Steve Sammons provided the Board with the proposed landscape and hardscape design within the central island at the new roundabout at Pope John Paul II Blvd and Anthem Parkway. The Board requested a rendering to better visualize the proposed enhancements and Mr. Sammons has provided renderings included with this memo. Staff requests Board discussion and direction regarding the landscape and hardscape elements within the central island.

PROCUREMENT REVIEW

Not applicable.

DISTRICT ENGINEER REVIEW

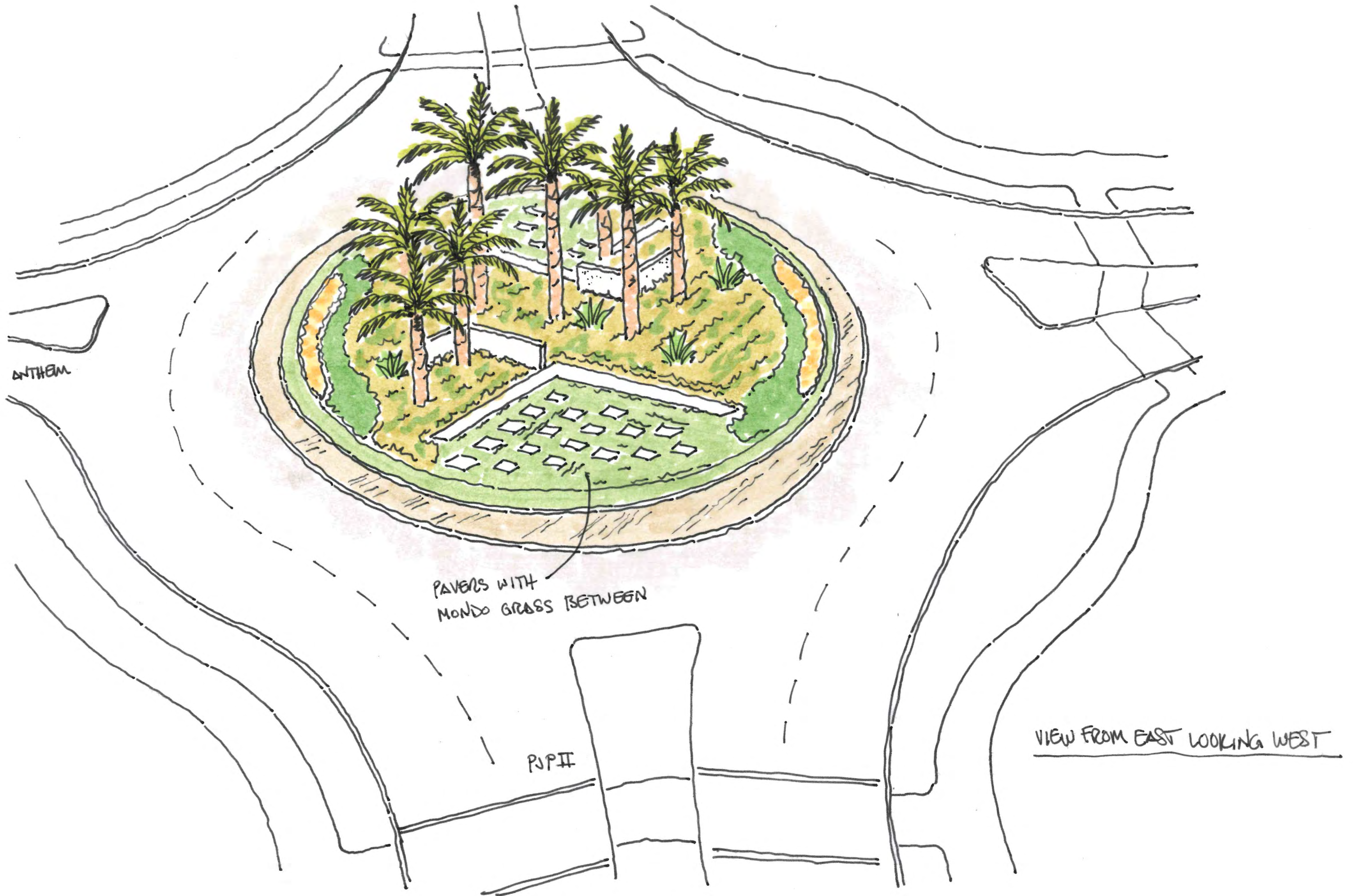
Not applicable.

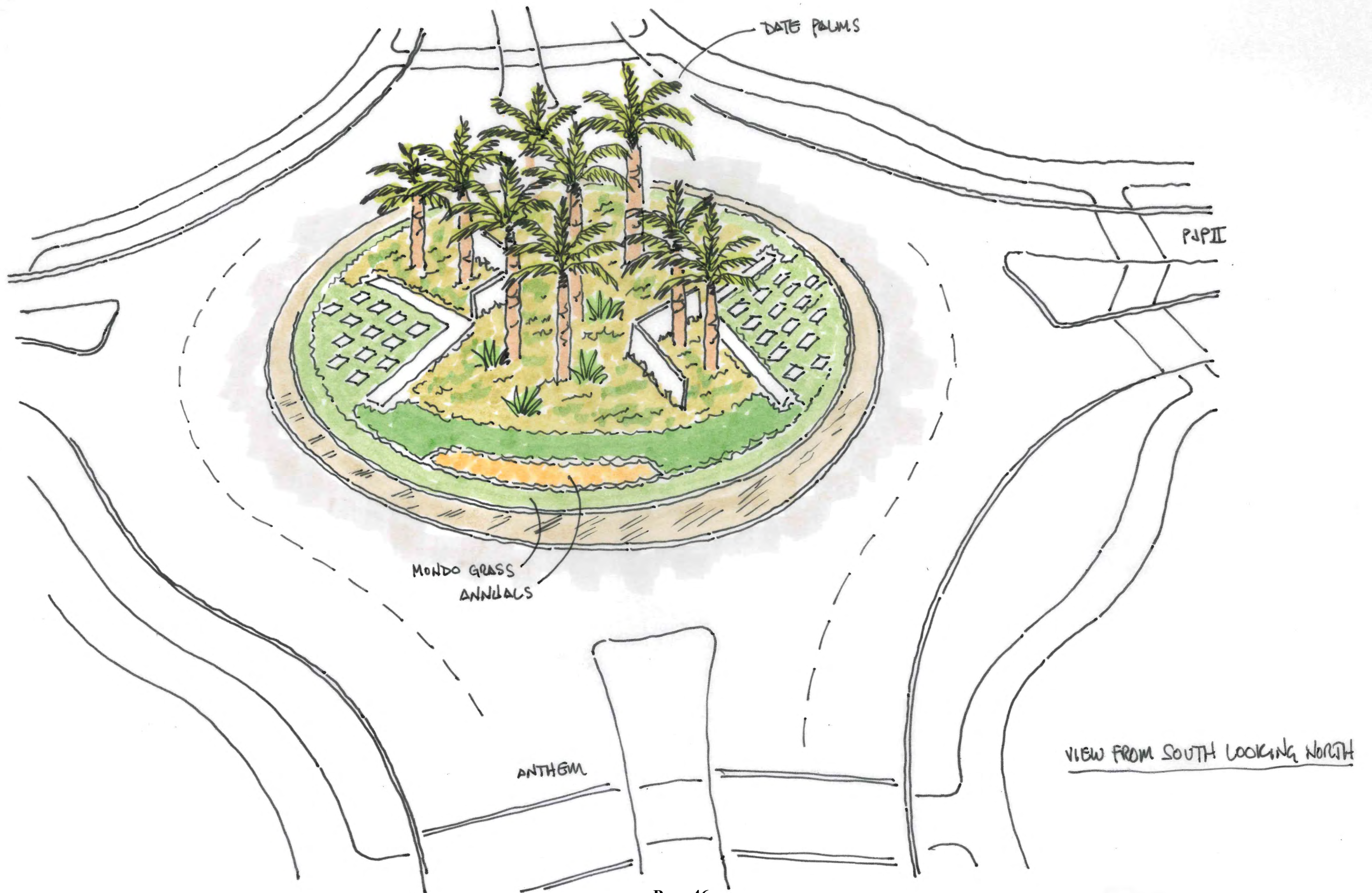
DISTRICT LEGAL COUNSEL REVIEW

Not applicable.

FUNDING REVIEW

The Anthem Parkway Phase 5B project will be funded by the 2025 Master bonds.



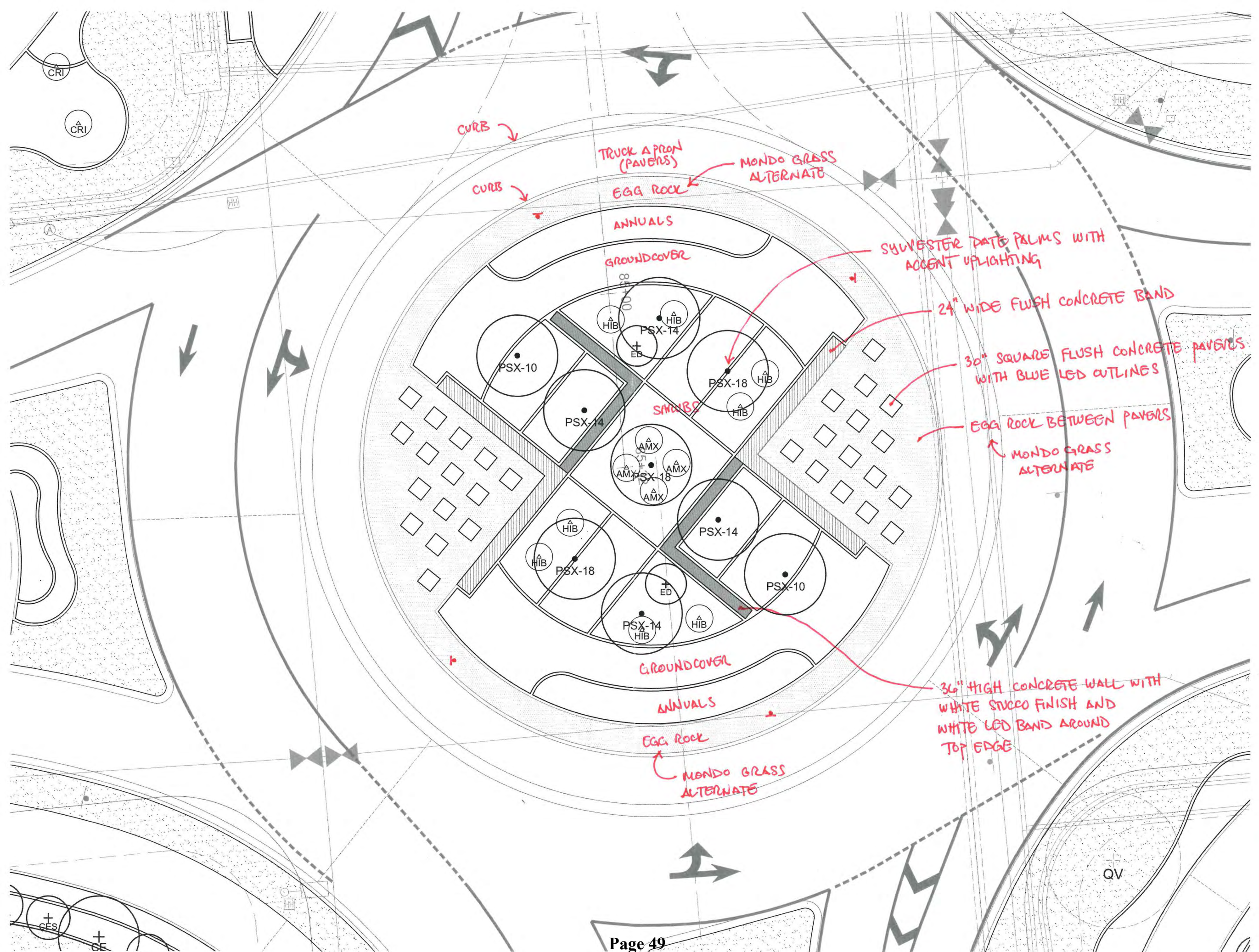




MONDO GRASS (DWARF LIRIOPE) AS ALTERNATE TO EGG ROCK







Ave Maria
Stewardship Community District

MEMORANDUM

To: Board of Supervisors
From: Allyson Holland, P.E., District Manager
Date: November 21, 2025
Board Meeting Date: December 2, 2025

SUBJECT

Presentation from Kimley-Horn and Associates, Inc. for the Ave Maria Boulevard Crosswalk Analysis.

STAFF RECOMMENDATION

Staff recommends the Board receive the presentation from Kimley-Horn and Associates, Inc. for the Ave Maria Boulevard Crosswalk Analysis.

GENERAL INFORMATION

The Board unanimously approved an agreement with Kimley-Horn and Associates, Inc. (Kimley-Horn) for the Ave Maria Boulevard Crosswalk Analysis during the regular Board Meeting on May 6, 2025. Kimley-Horn provided professional services to the District related to analyzing crosswalks to determine the appropriate traffic control as well as provide consistent pedestrian crossing experience throughout the community. Kimley-Horn analyzed the following five (5) crosswalks along Ave Maria Boulevard for possible installation of Rectangular Rapid Flashing Beacons (RRFBs), or other appropriate traffic control:

1. Avila Avenue
2. Assisi Avenue
3. Useppa Drive
4. Merrit Lane
5. Bellerawalk Boulevard

Mr. Ian Rairden with Kimley-Horn will present their findings and recommendations to make these crosswalks safer for our community.

PROCUREMENT REVIEW

N/A

DISTRICT ENGINEER REVIEW

N/A

DISTRICT LEGAL COUNSEL REVIEW

N/A

FUNDING REVIEW

N/A

Attachments

November 24, 2025

Allyson Holland, P.E.
District Manager
Ave Maria Stewardship Community District
2501 A Burns Road
Palm Beach Gardens, FL 33410

**Re: Ave Maria Boulevard Crosswalk Analysis
Ave Maria, Florida**

Dear Ms. Holland:

Kimley-Horn and Associates, Inc. has been retained by the Ave Maria Stewardship Community District (District) to perform a crosswalk traffic control analysis to determine the applicable traffic control at multiple existing marked crosswalks along Ave Maria Boulevard in Ave Maria, Florida. Currently, there are four (4) marked crosswalks with rectangular rapid flashing beacons (RRFBs) installed in the vicinity of the Ave Maria Catholic Church along Annunciation Circle and Ave Maria Boulevard, in addition to one (1) RRFB near The National Golf and Country Club. The District desires to analyze marked crosswalks throughout the community to determine the applicable traffic control as well as provide a consistent pedestrian crossing experience throughout the community. This analysis documents the crosswalk traffic control treatment at the following locations along Ave Maria Boulevard. A location map is included in **Attachment A**.

1. Bellerawalk Boulevard
2. Merritt Lane
3. Useppa Drive
4. Assisi Avenue
5. Avila Avenue

This technical memorandum summarizes the location characteristics, crash data analysis, speed data analysis, field review observations, and crosswalk traffic control analysis.

LOCATION CHARACTERISTICS

Ave Maria Boulevard south of Bellerawalk Boulevard is a four-lane divided roadway that transitions to a two-lane divided roadway just south of Peek Way/Milano Street. Ave Maria Boulevard serves as the primary road to access the Ave Maria community including the Ave Maria Catholic Church. The surrounding land uses are primarily residential, including a section of restaurant and gas station uses just south of Useppa Drive. The downtown area surrounding the Ave Maria Catholic Church contains the highest density of restaurant and retail land uses. **Table 1** provides a summary of characteristics of Ave Maria Boulevard from Bellerawalk Boulevard to Avila Avenue.

Table 1: Location Characteristics⁽¹⁾

| | |
|-----------------------------------|--|
| Typical Section | Bellerawalk Boulevard to Merritt Lane: Four-lane divided Merritt Lane to Useppa Drive: Four-lane divided Useppa Drive to just south of Peek Way/Milano Street: Four-lane divided Peek Way/Milano Street to Avila Avenue: Two-lane divided |
| Functional Classification | Rural Minor Collector |
| Speed Limit | Bellerawalk Boulevard to Useppa Drive: 35 MPH Useppa Drive to Peek Way/Milano Street: 35 MPH (northbound) Useppa Drive to Peek Way/Milano Street: 25 MPH (southbound) Peek Way/Milano Street to Avila Avenue: 25 MPH |
| Street Lighting | Within median (combination of decorative and cobra head lighting) |
| Signalized Intersections | None |
| Horizontal/Vertical Curves | Multiple horizontal curves present |
| Drainage | Curb and gutter |
| Sidewalks | West side only south of Peek Way/Milano Street East and West sides north of Peek Way/Milano Street |
| Bicycle Lanes | None |
| Transit Service | None |
| Parking | On-street parking on the east and west sides between Peek Way/Milano Street and Avila Avenue |
| Other Facilities | Golf cart (sharrow) pavement markings from Peek Way/Milano Street to Avila Avenue |
| Surrounding Land Uses | Bellerawalk Boulevard: Residential Merritt Lane: Commercial/Retail, Fire Station, Park, Utilities Useppa Drive: Commercial/Retail, Fire Station Assisi Avenue: Residential, University Housing, Park/Recreational Avila Avenue: Residential, University, University Housing, Commercial/Retail |

Note: ⁽¹⁾ Location characteristics apply to Ave Maria Boulevard between Bellerawalk Boulevard and Avila Avenue.

CRASH DATA ANALYSIS

Crash data for the period from January 1, 2020 to May 20, 2025 (latest available through 2025 at time of crash data pull) from the University of Florida's Signal4 Analytics database was reviewed along Ave Maria Boulevard between Bellerawalk Boulevard and Avila Avenue to identify crashes involving pedestrians and bicyclists. There was a total of 43 reported crashes, of which one crash involved a bicyclist. No crashes involving a pedestrian were reported. A summary of the bicycle crash is documented below including other notable crash data trends.

- Crash No. 27252343: April 14, 2025 (1:22 PM) A vehicle stopped at the westbound approach of Avila Avenue and Ave Maria Boulevard proceeded westbound and hit a bicyclist traveling northbound within the west leg crosswalk. The crash occurred during daylight conditions and a dry roadway surface. The crash resulted in a non-incapacitating injury to the bicyclist.
- Crash totals by location:
 - Avila Avenue: 4 crashes
 - Assisi Avenue: 8 crashes
 - Useppa Drive: 3 crashes
 - Merrit Lane: 1 crash
 - Bellerawalk Boulevard: 3 crashes
 - Other intersections: 14 crashes

- Midblock (between intersections): 10 crashes
- There were 5 crashes in 2020, 5 crashes in 2021, 16 crashes in 2022, 10 crashes in 2023, 2 crashes in 2024, and 5 crashes in 2025 (through May 20)
- The crash types were angle (13 crashes), sideswipe (7 crashes), parked motor vehicle (5 crashes), curb (5 crashes), tree (4 crashes), rear end (4 crashes), animal (4 crashes), and bicycle (1 crash).
- Fourteen crashes resulted in an injury/fatality (33%), which included one fatal crash summarized below.
 - Crash No. 89702137: September 18, 2023 (1:27 PM) A vehicle traveling northbound on Ave Maria Boulevard failed to maintain control of their vehicle and drifted in the northeastern direction and struck a curb. The vehicle proceeded to hit a lawn mower operated by a non-motorist on the shoulder of the road which caused the lawn mower to overturn and strike two posts and a tree resulting in the non-motorist falling from the lawn mower into shrubbery. The crash occurred during daylight conditions and a dry roadway surface.
- Sixteen crashes (37%) occurred during non-daylight conditions.
- Five crashes (12%) occurred under wet roadway surface conditions.

Detailed crash data is included in **Attachment B**.

SPEED DATA

Vehicle speed data was collected for a 24-hour period in the northbound and southbound directions along Ave Maria Boulevard on Wednesday, June 18, 2025, at the following locations:

- Between Assisi Avenue and Peek Way/Milano Street
- Between Useppa Drive and Chesterfield Drive
- Between Anthem Parkway and Bellerawalk Boulevard

A summary of the speed data is presented in **Table 2**. The detailed dataset is included in **Attachment C**. As shown in **Table 2**, the 85th percentile speeds in both the northbound and southbound directions exceeded the posted speed limit at all data collection locations except for the northbound speed between Assisi Avenue and Peek Way/Milano Street. Note that 85th percentile vehicle speeds exceeded the posted speed limit by 2-6 MPH, except for the southbound 85th percentile speed between Useppa Drive and Chesterfield Drive (42 MPH), which is 17 MPH above the posted speed limit of 25 MPH. It should be noted that there is a differential in the posted speed limit along this section of Ave Maria Boulevard as the posted speed limit in the northbound direction is 35 MPH whereas the posted speed limit in the southbound direction is 25 MPH. Per discussion with District staff the differential in speed limits is consistent with the planned speed zones along Ave Maria Boulevard.

The percentage of vehicles exceeding the posted speed limit (25 MPH) was lowest in both directions between Assisi Avenue and Peek Way/Milano Street (6%-23%), which was the only two-lane section and was closest to downtown. Between Useppa Drive and Chesterfield Drive, just under 50% of vehicles were recorded exceeding the posted speed limit of 35 MPH in the northbound direction, and almost every vehicle (98.1%) in the southbound direction was recorded exceeding the posted speed limit of 25 MPH. As noted above, there is a differential in the posted speed limit along this section of Ave Maria Boulevard as the posted speed limit in the northbound direction is 35 MPH whereas the posted speed limit in the southbound direction is 25 MPH. For the segment between Anthem Parkway and Bellerawalk Boulevard, just over 50% of vehicles were recorded exceeding the posted speed limit (35 MPH) in both the northbound and southbound directions.

Table 2: Speed Data Summary (Ave Maria Boulevard)

| Direction | Between Assisi Avenue and Peek Way/Milano Street | Between Useppa Drive and Chesterfield Drive | Between Anthem Parkway and Bellerawalk Boulevard |
|------------|--|---|--|
| | Posted Speed Limit | | |
| | 25 MPH | 35 MPH (Northbound) 25 MPH (Southbound) | 35 MPH |
| | 85th Percentile Speed | | |
| Northbound | 24 MPH (-1 MPH) | 40 MPH (+5 MPH) | 40 MPH (+5 MPH) |
| Southbound | 27 MPH (+2 MPH) | 42 MPH (+17 MPH) | 41 MPH (+6 MPH) |
| | 10-MPH Pace | | |
| | 16-25 MPH | 31- 40 MPH | 31- 40 MPH |
| | 19- 28 MPH | 33-42 MPH | 31- 40 MPH |
| | % of vehicles exceeding speed limit | | |
| Northbound | 6.1% | 47.1% | 52.8% |
| Southbound | 23.3% | 98.1% ⁽¹⁾ | 53.9% |

Notes: Bold values exceed posted speed limit.
(1) 61.4% of vehicles are exceeding 35 mph

FIELD REVIEW

Field reviews were conducted, focusing on the existing crosswalk infrastructure, location, traffic control, and signage. A summary of observations is provided below. Additionally, the field reviews were also conducted at the existing RRFB's in the vicinity of the Ave Maria Catholic Church along Annunciation Circle and Ave Maria Boulevard, and the RRFB near The National Golf and Country Club to observe driver compliance and functionality of the existing RRFB push buttons and flashing lights.

Ave Maria Boulevard at Bellerawalk Boulevard

Ave Maria Boulevard is a 4-lane divided roadway with a posted speed limit of 35 MPH through its intersection with Bellerawalk Boulevard. Currently, there is a marked crosswalk with continental pavement markings on the north leg at the study intersection, shown in **Figure 1**. The crosswalk contains a pedestrian warning (W11-2) sign facing southbound traffic shown in **Figure 2**; there is no warning signage facing northbound traffic. The crosswalk contains a pedestrian refuge within the median to allow a two-stage crossing. A stop sign, shown in **Figure 3**, is located within the refuge area facing westbound to signify golf carts using the crossing to stop before proceeding to cross Ave Maria Boulevard. Note that during the field review no stop sign was provided facing eastbound; however, based on discussion with District staff the stop sign was knocked over and is in the process of being replaced. A sidewalk curb cut with detectable warning mat, shown in **Figure 4**, is provided on the northeast corner for the east leg; however, no crosswalk is provided on the east leg and there is no sidewalk provided along the east side of Ave Maria Boulevard. Based on discussion with District staff this curb cut is for use by golf carts only.



Figure 1: North Leg Crosswalk, Continental Pavement Markings



Figure 2: Southbound Pedestrian Warning Sign (W11-2)



Figure 3: Westbound Stop Sign at Refuge Area



Figure 4: Curb Cut with Detectable Warning Mat, NE Corner

Ave Maria Boulevard at Merrit Lane

Ave Maria Boulevard is a 4-lane divided roadway with a posted speed limit of 35 MPH through its intersection with Merrit Lane. Currently, there are marked crosswalks with continental pavement markings on the north, south, and west legs at the study intersection. The east leg crosswalk, shown in **Figure 5**, contains standard crosswalk pavement markings. The crosswalks on the northbound and southbound approaches contain a pedestrian warning (W11-2) sign with supplemental arrow plaque (W16-7P) facing oncoming traffic, shown in **Figure 6**. The eastbound and westbound traffic is controlled by stop signs; therefore, pedestrian warning signage is not provided. The north leg crosswalk is generally perpendicular to the northbound lanes; however, when crossing the southbound lanes the crosswalk angles towards the north. A Fire Station is located east of the intersection.



Figure 5: East Leg Standard Crosswalk



Figure 6: Northbound Pedestrian Warning Sign (W11-2) with Arrow Plaque (W16-7P)

Ave Maria Boulevard at Useppa Drive

Ave Maria Boulevard is a 4-lane divided roadway with a posted speed limit of 35 MPH in the northbound direction and a speed limit of 25 MPH in the southbound direction through its intersection with Useppa Drive. The posted speed limit for the southbound direction changes to 35 MPH just south of the intersection. Currently, there are marked crosswalks with continental pavement markings on the north, south (**Figure 7**), and west legs at the study intersection. The east leg crosswalk contains standard crosswalk pavement markings. The crosswalks on the northbound and southbound approaches contain a pedestrian warning (W11-2) sign with supplemental arrow plaque (W16-7P), shown in **Figure 8**. The Ave Maria Water and Wastewater Treatment Facility is located on the west leg of the intersection with restricted access.



Figure 7: South Leg Continental Crosswalk



Figure 8: Southbound Pedestrian Warning Sign (W11-2) with Arrow Plaque (W16-7P) and Northwest Curb Ramp

Ave Maria Boulevard at Assisi Avenue

Ave Maria Boulevard is a 2-lane divided roadway with a posted speed limit of 25 MPH through its intersection with Assisi Avenue. Currently, there are marked crosswalks with continental pavement markings on all approaches at the study intersection. The crosswalks on the northbound and southbound approaches contain a pedestrian warning (W11-2) sign with supplemental arrow plaque (W16-7P). On-street parking is provided along both sides of the roadway to the north and south along Ave Maria Boulevard (shown in **Figure 9**) and along the north side of the roadway to the east and west along Assisi Avenue/Dolan Street (shown in **Figure 10**). The detectable warning mat on the south side of the east leg crosswalk was black (shown in **Figure 11**) while all other mats were yellow. Golf cart markings are provided in the travel lanes for shared use of the lanes by vehicles and golf carts. Silt/dirt was observed along the east side of the roadway just west of the east leg crosswalk, likely from water being trapped there and not flowing to the drainage inlet.



Figure 9: On-Street Parking, Northbound Ave Maria Boulevard



Figure 10: On-Street Parking, Assisi Avenue

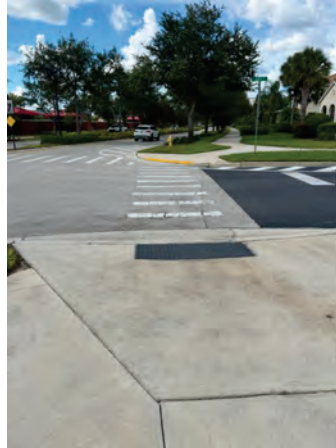


Figure 11: Black Detectable Warning Mat, South Side of East Leg Crosswalk

Ave Maria Boulevard at Avila Avenue

Ave Maria Boulevard consists of a 2-lane roadway with a posted speed limit of 25 MPH through its intersection with Avila Avenue. To the south Ave Maria Boulevard is divided and to the north is undivided. Currently, there are marked crosswalks with continental pavement markings on all approaches at the study intersection. The crosswalks on the northbound and southbound approaches contain a pedestrian warning (W11-2) sign with supplemental arrow plaque (W16-7P). There are three detectable warning mats on the southeast corner with the middle mat not providing connection to a crosswalk (shown in **Figure 12**). There are trees on the northwest and southwest corners which may be impacting sight distance. Golf cart markings are provided in the travel lanes for shared use of the lanes by vehicles and golf carts (shown in **Figure 13**).



Figure 12: Southeast Corner Detectable Warning Mats



Figure 13: Golf Cart Marking, North Leg

Existing RRFB's

The existing RRFB's at the following locations were reviewed to observe driver compliance and functionality of the existing RRFB push buttons and flashing lights:

National Boulevard at Ave Maria Boulevard

- The button and flashing beacons in the northbound direction (east side) (**Figure 14**) were confirmed to be functional
- The button and flashing beacons in the southbound direction (west side) (**Figure 15**) were confirmed to be non-functional
 - The button did not emit a beep when pushed and the flashing beacons did not activate
- Drivers in the southbound direction did not stop when the reviewer was crossing in the westbound direction after pressing the east side button. This can be attributed to the southbound RRFB flashers not being active.



Figure 14: RRFB Northbound Direction



Figure 15: RRFB, Southbound Direction

Vicinity of Ave Maria Catholic Church

- All buttons and flashing beacons were confirmed to be functional for all four crosswalks
- Drivers did comply with stopping for crossing pedestrians (shown in **Figure 16**)



Figure 16: Functional Flashing Beacon and Compliant Driver at Crosswalk

CROSSWALK TRAFFIC CONTROL ANALYSIS

Section 5.2 of the FDOT *Traffic Engineering Manual* (TEM) – January 2025, the Manual on Uniform Traffic Control Devices (MUTCD), 11th Edition – December 2023, and the FDOT Design Manual – January 2025 were referenced to provide guidance on the applicable traffic control for the existing marked crosswalks. The traffic control devices reviewed included RRFBs and pedestrian hybrid beacons (PHBs). The device criteria guidelines outlined in the FDOT TEM are described below.

- A Rectangular Rapid Flashing Beacon (RRFB) is a pedestrian- or bicyclist-actuated traffic control device with two rapidly and alternately flashing rectangular yellow indications that function as a warning beacon. RRFBs should be limited to roadways with a speed limit of 35 mph or lower, at a marked crosswalk with special emphasis pavement markings, and applied to a roadway with four

- through lanes (or less). Note that there is no minimum vehicular volume or pedestrian crossing volume required to justify flashing beacons or an RRFB.
- A Pedestrian Hybrid Beacon (PHB) is a pedestrian- or bicyclist-actuated traffic control device used to warn and control traffic at an unsignalized location when pedestrians cross a marked crosswalk. It is also known as a High-Intensity Activated Crosswalk (HAWK). A PHB is typically installed on mast arms above the controlled roadway. The PHB faces consist of three signal sections: two horizontally aligned circular red indications and a circular yellow indication centered below. A PHB installation requires a minimum of two faces for each major street approach. PHBs should be placed at least 100 feet from side streets or driveways and avoided at intersections. Installation may be considered when a traffic signal is not justified, gaps in traffic are not adequate to permit pedestrians to cross, the approaching vehicle speeds on the major street are too high to permit pedestrians to cross, or where pedestrian delay is excessive.

Figure 17 summarizes the guidance matrix for pedestrian treatment at unsignalized intersections referenced from the FDOT TEM.

Additionally, traffic calming treatments were reviewed to increase pedestrian crossing safety and lower vehicle speeds at the study locations including raised crosswalks, raised intersections, speed tables, curb extensions, and other applicable safety treatments. The following sections document the applicable marked crosswalk traffic control and traffic calming treatment guidance for the locations analyzed. The following criteria from the 2025 Florida Department of Transportation (FDOT) Design Manual (FDM) was utilized for review of the other treatments:

- Section 202.3.8.1 (Speed Management) "Raised intersections may be used on very low-speed roadways with Design Speeds of 25 mph, are site specific, and must be designed to meet the needs of each individual intersection."
- Section 202.3.8 (Speed Management) - Vertical Deflection "Use raised intersections, Type I raised crosswalks, and speed tables for Design Speeds of 25 mph. Use Type II raised crosswalks and speed tables for Design Speeds of 30 mph to 35 mph"
- Section 222.2.3.1 (Pedestrian Facilities) "For controlled intersections with six-lane divided roadways or crossing distances exceeding 80 feet, consider installing a two-stage pedestrian crossing with median refuge island"

Figure 17: Guidance Matrix of Pedestrian Treatments at Midblock Crosswalks and Unsignalized Intersections

| TEM 5.2 Midblock Crosswalks and Unsignalized Intersection Selection Guidance Matrix | | | Midblock and Unsignalized Intersections | | | | | Midblock | | TEM SECTION | Legend |
|---|---|---------------------------------------|---|---------|-----------|---|---|---------------------------------|----------------|-------------|---|
| | | | Pavement Marking | | | RRFB | | PHB | Traffic Signal | | |
| | | | | | | | | | | | |
| | | | Special Emphasis Crosswalk | | | 2-4 lanes lanes 3-5 lanes With TWTL | | Florida warrants must be met | | | |
| | | | 20 PPH for 1 Hr | | | | | | | | |
| | | | or SHARE USE PATH 50% PPH reduction | | | | | | | | |
| Pavement Markings | Special emphasis crosswalk | Midblock | or school zones | | | ≤35 mph | | All Speeds | | | |
| | | | or C2T, C3C, C4, C5, and C6 | | | | | | | | |
| | | | Intersection | ≤35 mph | 40-45 mph | >45 mph | M | M | M | M | |
| Signs | Stop Here for Peds Sign (R1-5b) / Stop Here for Pedestrians Sign (R1-5c) | Enhance option: highlighted or beacon | O | O | O | M | M | N | N | 5.2.7.2 | Note (1) Identifies where the treatment cannot be applied because the infrastructure is not there. Ex: Audible Message on a Marked Crosswalk |
| | Pedestrian Sign (W11-2) / Ahead Plaque (W16-9p) | | M | M | M | M | M | M | M | | |
| | PushButton For Warning Lights, Wait For Traffic To Stop, Cross With Caution Sign (FTP-68C-21) | | O | O | O | M | M | O | O | | |
| | Overhead Ped Crossing Sign (R1-9a) | | O | O | O | O | O | O | O | | |
| | Crosswalk, Stop on Red Sign (R10-23a) | | N/A | N/A | N/A | N | N | M | N | | |
| | In-street Ped Crossing Sign (R1-6a) | | R | N | N | R | N | N | N | | |
| Emphasis / Enhancements | Audible message | | N/A | N/A | N/A | M | M | N | N | 5.2.7.5 | |
| | In-roadway warning light | | N/A | N/A | N/A | O | O | O | N | | |
| | Passive pedestrian and bike detection | SHARED USE PATH | N/A | N/A | N/A | R | R | R | R | | |
| | | All others locations | N/A | N/A | N/A | O | O | O | O | | |
| TEM SECTION | | | 5.2.5.1 | | | 5.2.5.2 | | | | | |

Ave Maria Boulevard at Bellerawalk Boulevard

Based on the traffic control device criteria outlined in the previous section, as there are no minimum volume requirements an RRFB is an applicable marked crosswalk traffic control device at the study location. Optionally, supplemental in-roadway warning lights may be considered for installation. Additionally, the following additional treatments should be considered based on FDM criteria and field observations:

- Two-stage crossing with pedestrian refuge in the median
- Raised crosswalk for the existing crossing on the north leg
- Special emphasis crosswalk marking to replace existing continental markings

The applicable traffic control device and additional treatments are summarized in Table 3 and depicted in a graphic in **Attachment D**.

Ave Maria Boulevard at Merrit Lane

Based on the traffic control device criteria outlined in the previous section, an RRFB is an applicable marked crosswalk traffic control device at the study location for either the north leg or south leg crossings with an option to install supplemental in-roadway warning lights. Additionally, the following additional treatments should be considered based on FDM criteria and field observations:

- Reduced radii on northwest corner to reduce turning vehicle speed and reduce crosswalk length
- Realignment of north leg crosswalk to remove the angled crossing across the southbound lanes
- Hardened centerlines to protect pedestrians in the crosswalks
- Special emphasis crosswalk to replace existing continental markings

The applicable traffic control device and additional treatments are summarized in Table 3 and depicted in a graphic in **Attachment D**.

Ave Maria Boulevard at Useppa Drive

Based on the traffic control device criteria outlined in the previous section, an RRFB is an applicable marked crosswalk traffic control device at the study location for either the north leg or south leg. Note that supplemental in-roadway warning lights are an option for installation. Additionally, based on field observations special emphasis crosswalk should also be considered to replace the existing continental markings.

The applicable traffic control device and additional treatments are summarized in Table 3 and depicted in a graphic in **Attachment D**.

Ave Maria Boulevard at Assisi Avenue

Based on the traffic control device criteria outlined in the previous section, for either the north and south leg an RRFB is an applicable marked crosswalk traffic control device at the study location. Additionally, the following additional treatments should be considered based on FDM criteria and field observations:

- Raised intersection
- Special emphasis crosswalk to replace existing continental markings
- Curb extensions to reduce the pedestrian crossing distance

The applicable traffic control device and additional treatments are summarized in Table 3 and depicted in a graphic in **Attachment D**.

Ave Maria Boulevard at Avila Avenue

Based on the traffic control device criteria outlined in the previous section, an RRFB is an applicable marked crosswalk traffic control device at the study location for either the north or south leg. Additionally, the following additional treatments should be considered based on FDM criteria and field observations:

- Raised intersection
- Special emphasis crosswalk to replace existing continental markings
- Curb extensions to reduce the pedestrian crossing distance

The applicable traffic control device and additional treatments are summarized in Table 3 and depicted in a graphic in **Attachment D**. Additionally, guidance/illustrations from the Federal Highway Administration (FHWA) for raised intersections, raised crosswalks, and curb (corner) extensions are provided in **Attachment E**. FDOT design criteria and illustrations for hardened centerlines from the 2026 FDOT Design Manual (FDM) are provided in **Attachment F**.

CONCLUSION/GUIDANCE

This study consisted of a crosswalk traffic control analysis to provide guidance on the applicable traffic control and traffic calming improvements at multiple existing marked crosswalks along Ave Maria Boulevard in Ave Maria, Florida. **Table 3** summarizes the locations analyzed and the respective applicable traffic control treatments.

Table 3: Crosswalk Traffic Control Treatment Summary

| Location | Applicable Traffic Control | Additional Treatments to Consider | Notes |
|-----------------------|----------------------------|---|--|
| Bellerawalk Boulevard | RRFB | <ul style="list-style-type: none"> In-roadway warning lights Two-Stage Crossing Raised Crosswalk Special Emphasis Markings | <ul style="list-style-type: none"> Meets all criteria for RRFB treatment Wide median and long crossing distance Drainage impacts associated with raised crosswalk Does not meet speed threshold for raised intersection treatment |
| Merrit Lane | RRFB | <ul style="list-style-type: none"> In-roadway warning lights Reduced curb radii (NW corner) Realign Crosswalk (north leg) Hardened Centerlines Special Emphasis Markings | <ul style="list-style-type: none"> Meets all criteria for RRFB treatment Reduce curb radii to slow turning vehicles Straighten crosswalk to shorten crossing length and provide perpendicular crossing Does not meet speed threshold for raised intersection treatment Fire Station in vicinity |
| Useppa Drive | RRFB | <ul style="list-style-type: none"> In-roadway warning lights Special Emphasis Markings | <ul style="list-style-type: none"> Meets all criteria for RRFB treatment Does not meet speed threshold for raised intersection treatment Fire Station in vicinity |
| Assisi Avenue | RRFB | <ul style="list-style-type: none"> Raised Intersection Special Emphasis Markings Curb Extensions | <ul style="list-style-type: none"> Meets all criteria for RRFB treatment Meets speed threshold for raised intersection treatment |
| Avila Avenue | RRFB | <ul style="list-style-type: none"> Raised Intersection Special Emphasis Markings Curb Extensions | <ul style="list-style-type: none"> Meets all criteria for RRFB treatment Meets speed threshold for raised intersection treatment Trees on west leg impact sight distance |

Based on the notes in Table 3 and coordination with District staff the following improvements are recommended for consideration at each of the study intersections. A summary Opinion of Probable (OPC) cost for each of the intersections based on the recommended improvements is provided below and the detailed breakdown is included in **Attachment G**,

Bellerawalk Boulevard

- Install RRFB's
- Restripe north leg crosswalk
- Remove ground cover planting within 100 feet of the crossing in each direction
- OPC is approximately \$64,100

Merrit Lane

- Reduce curb radii on the northwest corner
- Realign crosswalk on the north leg to be perpendicular to Ave Maria Boulevard lanes
- Restripe crosswalks
- Install hardened centerlines
 - Consideration of emergency vehicles/Fire Station for final determination of which leg to install hardened centerlines
- OPC is approximately \$48,600

Useppa Drive

- Restripe crosswalks
- OPC is approximately \$14,400

Assisi Avenue

- Install raised intersection
- Install curb extensions
- Remove ground cover planting within 100 feet of the crossing in each direction
- OPC is approximately \$145,600

Avila Avenue

- Install raised intersection
- Install curb extensions
- Remove ground cover planting within 100 feet of the crossing in each direction
- OPC is approximately \$136,400

If you have any questions regarding this analysis, please feel free to contact me.

Sincerely,

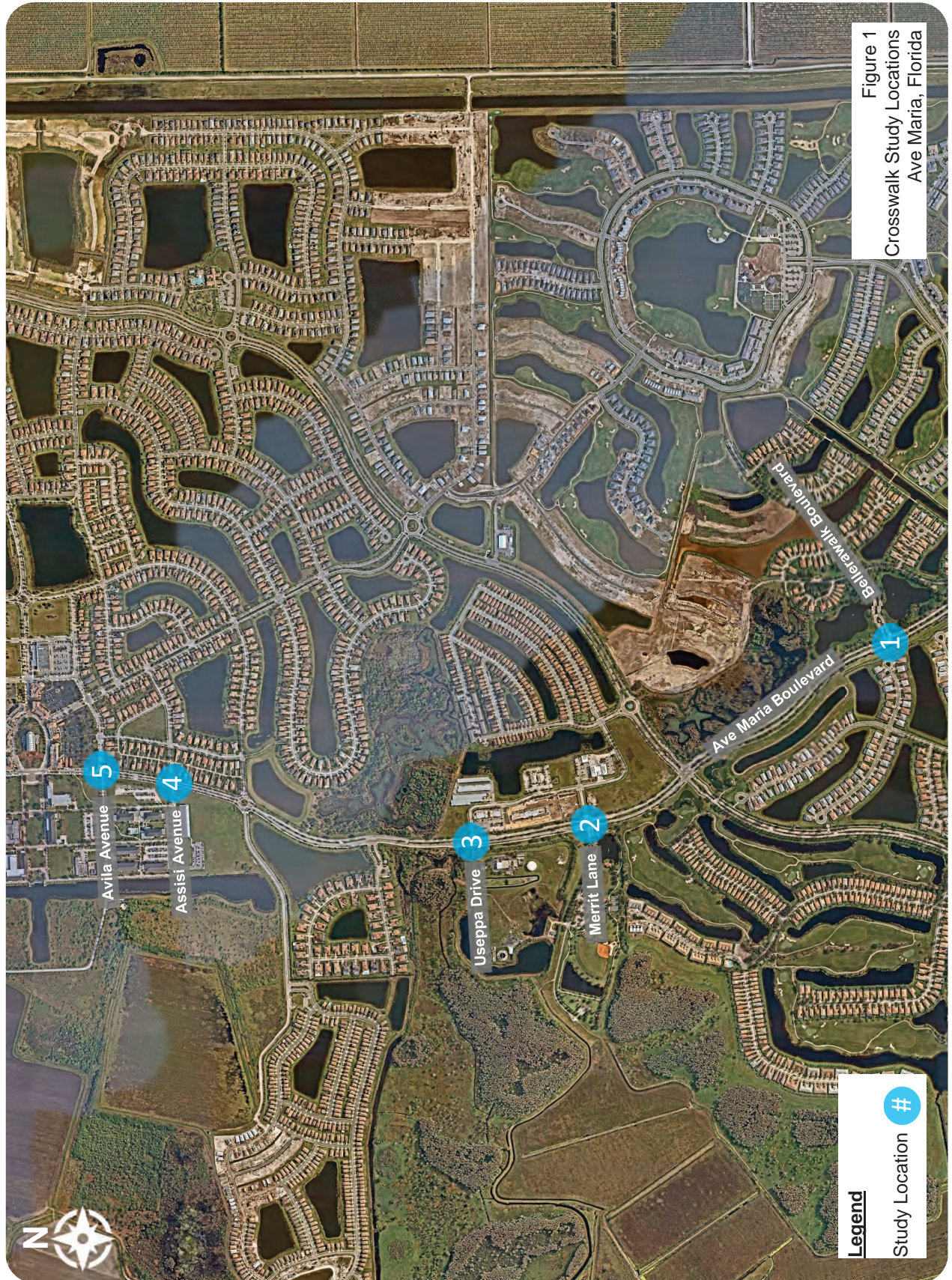
KIMLEY-HORN AND ASSOCIATES, INC.



Ian Raiden, P.E.

Attachment A

Crosswalk Location Map



Attachment B

Crash Data

| Row Labels | Count of CRSH_NUM |
|----------------------------------|-------------------|
| Anthem Parkway | 4 |
| Assisi Avenue | 8 |
| Avila Avenue | 4 |
| Bellerawalk Boulevard | 3 |
| Chesterfield Drive | 1 |
| Massa Way/Milano Street | 9 |
| Merrit Lane | 1 |
| North of Anthem Parkway | 1 |
| North of Avila Avenue | 1 |
| North of Bellerawalk Boulevard | 3 |
| North of Massa Way/Milano Street | 1 |
| North of Merrit Lane | 1 |
| South of Anthem Parkway | 2 |
| South of Merrit Lane | 1 |
| Useppa Drive | 3 |
| Grand Total | 43 |

| Row Labels | Count of CRSH_NUM |
|--------------------|-------------------|
| 2020 | 5 |
| 2021 | 5 |
| 2022 | 16 |
| 2023 | 10 |
| 2024 | 2 |
| 2025 | 5 |
| Grand Total | 43 |

| Row Labels | Count of CRSH_NUM |
|----------------------|-------------------|
| Angle | 13 |
| Sideswipe | 7 |
| Parked Motor Vehicle | 5 |
| Curb | 5 |
| Tree (Standing) | 4 |
| Rear-End | 4 |
| Animal | 4 |
| Pedalcycle | 1 |
| Grand Total | 43 |

| Row Labels | Count of CRSH_NUM |
|----------------------|-------------------|
| Fatality | 1 |
| Injury | 13 |
| Property Damage Only | 29 |
| Grand Total | 43 |

| Row Labels | Count of CRSH_NUM |
|--------------------|-------------------|
| Daylight | 27 |
| Non-Daylight | 16 |
| Grand Total | 43 |

| Row Labels | Count of CRSH_NUM |
|--------------------|-------------------|
| Dry | 38 |
| Wet | 5 |
| Grand Total | 43 |

Attachment C

Speed Data

[illegible]

| Direction | Percentiles | | | | |
|------------|-------------|------|---------|------|------|
| | 15th | 50th | Average | 85th | 95th |
| NORTHBOUND | 31 | 36 | 36 | 40 | 43 |
| SOUTHBOUND | 31 | 36 | 36 | 41 | 45 |
| TOTALS | 31 | 36 | 36 | 41 | 44 |
| | | | | | 6979 |
| | | | | | 3487 |
| | | | | | 3482 |

| Direction | 10mph Pace | # in Pace | % in Pace | Number of Vehicles | % of Vehicles |
|------------|-------------|-----------|-----------|--------------------|---------------|
| | | | | >= 55 MPH | >= 55 MPH |
| NORTHBOUND | 31 - 40 mph | 2629 | 75% | 4 | 0% |
| SOUTHBOUND | 31 - 40 mph | 2442 | 70% | 2 | 0% |
| TOTALS | 31 - 40 mph | 5071 | 73% | 6 | 0% |

Ave Maria Blvd Bet Anthem Pkwy & Bellerawalk Blvd

City: Ave Maria
Project #: FL25_140266_003

Day: Wednesday
Date: 6/18/2025

| Time | 15-MINUTE BREAKDOWN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | NORTHBOUND | | | | | | | | | | | | | | | SOUTHBOUND | | | | | | | | | | | | | | | TOTALS | | | | | | | | | | | | | | | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 55 | 50 | 45 | 40 | 35 | 30 | 25 | 20 | 15 | 10 | 5 | Total | 70 | 65 | 60 | 5 |
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Ave Maria Blvd Bet Useppa Dr & Chesterfield Dr
SPEED

City: Ave Maria
Project #: FL25_140266_002

Day: Wednesday
Date: 6/18/2025

| Time | | NORTHBOUND | | | | | | | | | | SOUTHBOUND | | | | | | | | | | TOTALS | | | | | | | | | | Total | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| | | 5 | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | | | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 70 | 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| Direction | | | | Percentiles | | | | Pace | | | |
|------------|--|--|--|-------------|------|---------|------|-------------|-----------|-----------|------------------------------|
| NORTHBOUND | | | | 15th | 50th | Average | 95th | 10mph Pace | # in Pace | % in Pace | Number of Vehicles >= 55 MPH |
| SOUTHBOUND | | | | 32 | 37 | 37 | 42 | 33 - 42 mph | 3946 | 68% | 10 |
| TOTALS | | | | 31 | 36 | 36 | 41 | 32 - 41 mph | 3946 | 68% | 14 |

Ave Maria Blvd Bet Useppa Dr & Chesterfield Dr
SPEED

City: Ave Maria
Project #: FL25_140266_002

Day: Wednesday
Date: 6/18/2025

| Time | 15-MINUTE BREAKDOWN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | NORTHBOUND | | | | | | | | | | | | | | | SOUTHBOUND | | | | | | | | | | | | | | | Total | TOTALS | | | | | | | | | | | | | | | Total | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|------|---------------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|------------|----|----|----|----|----|----|----|----|----|----|----|----|----|----|------------|----|----|----|---|----|---|---|---|---|----|---|---|---|---|-------|--------|---|---|---|----|---|---|---|---|---|---|---|---|---|---|-------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | 5 | | | | | 15 | | | | | 20 | | | | | 25 | | | | | 30 | | | | | 35 | | | | | 40 | | | | | 45 | | | | | 50 | | | | | 55 | | | | | 60 | | | | | 65 | | | | | 70 | | | | | 70 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 | 65 | 70 | 99 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 0000 | 0 | 0 | 0 | 2 | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 4 | 0 | 0 | 0 | 0 | 0 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 2 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

Page 78

Ave Maria Blvd Bet Dolan St/Assisi Ave & Massa Way/Milano St

| Direction | Percentiles | | | | | ADT |
|------------|-------------|------|---------|------|------|-------|
| | 15th | 50th | Average | 85th | 95th | |
| NORTHBOUND | 17 | 20 | 20 | 24 | 26 | 2,525 |
| SOUTHBOUND | 19 | 23 | 27 | 29 | 29 | 2,329 |
| TOTALS | 17 | 21 | 21 | 25 | 28 | 4,854 |

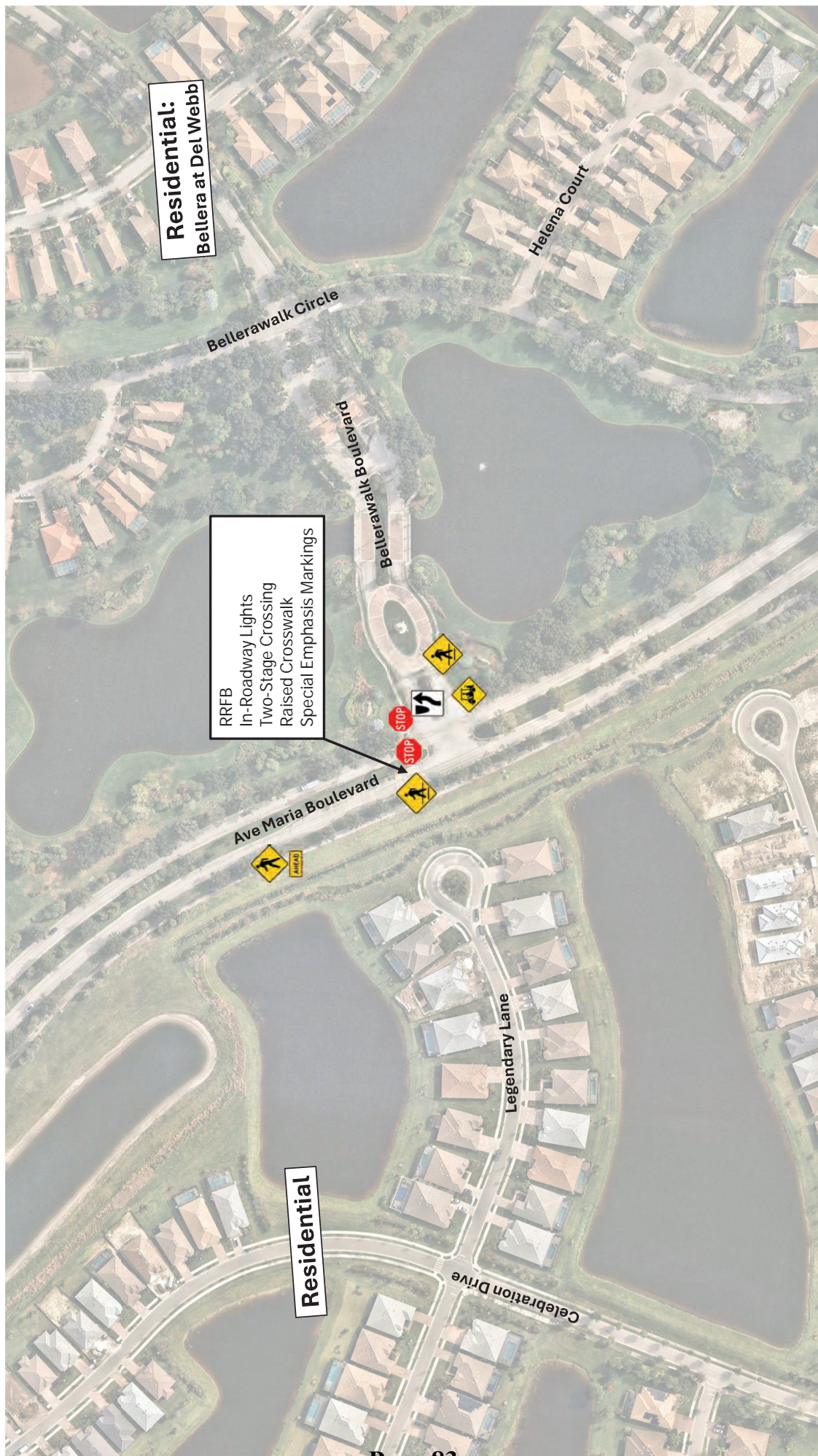
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Ave Maria Blvd Bet Dolan St/Assisi Ave & Massa Way/Milano St

Page 81

Attachment D

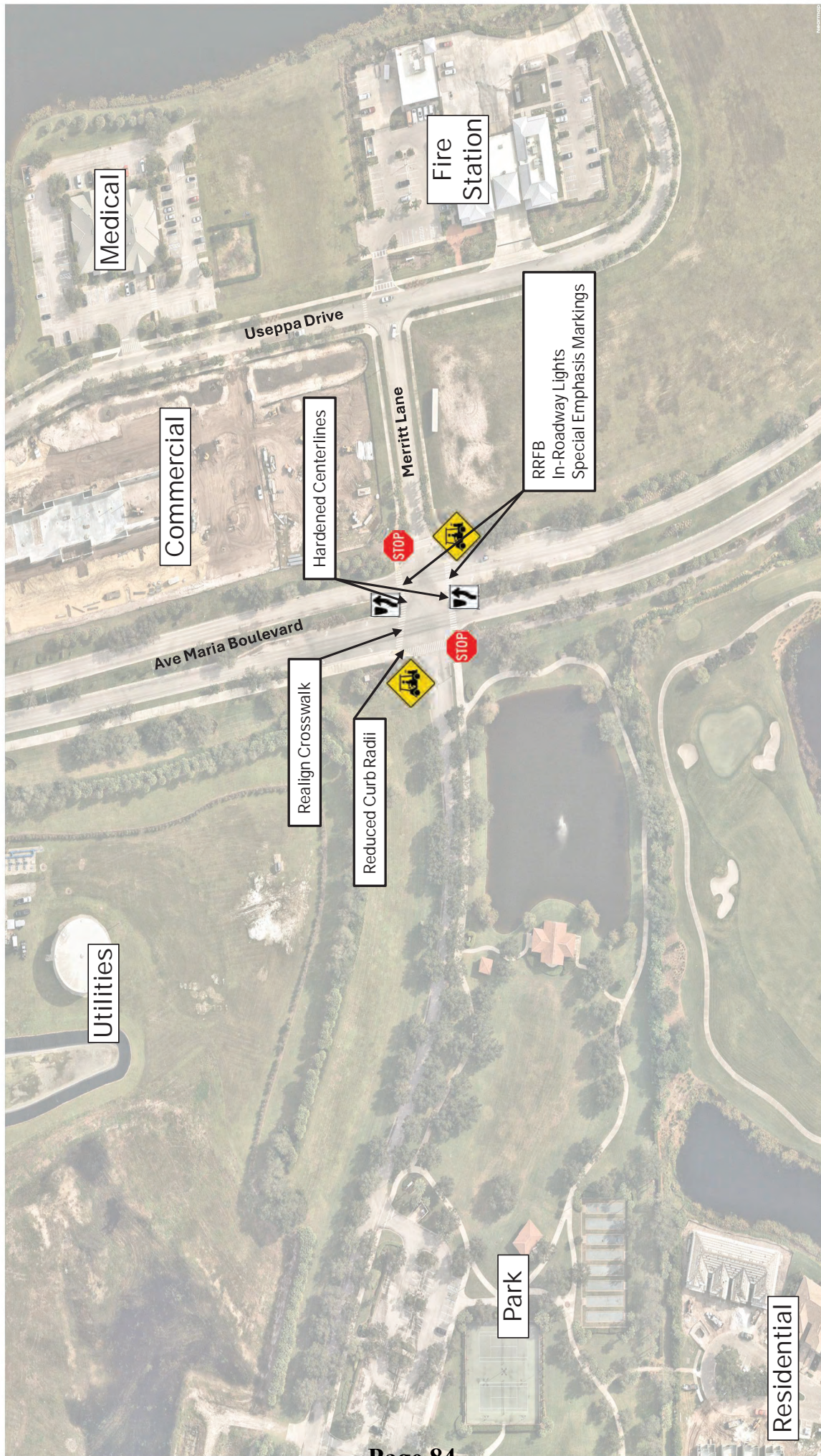
Intersection Improvements



Residential:
Bellera at Del Webb

RRFB
In-Roadway Lights
Two-Stage Crossing
Raised Crosswalk
Special Emphasis Markings

Residential





RRFB
In-Roadway Lights
Special Emphasis Markings

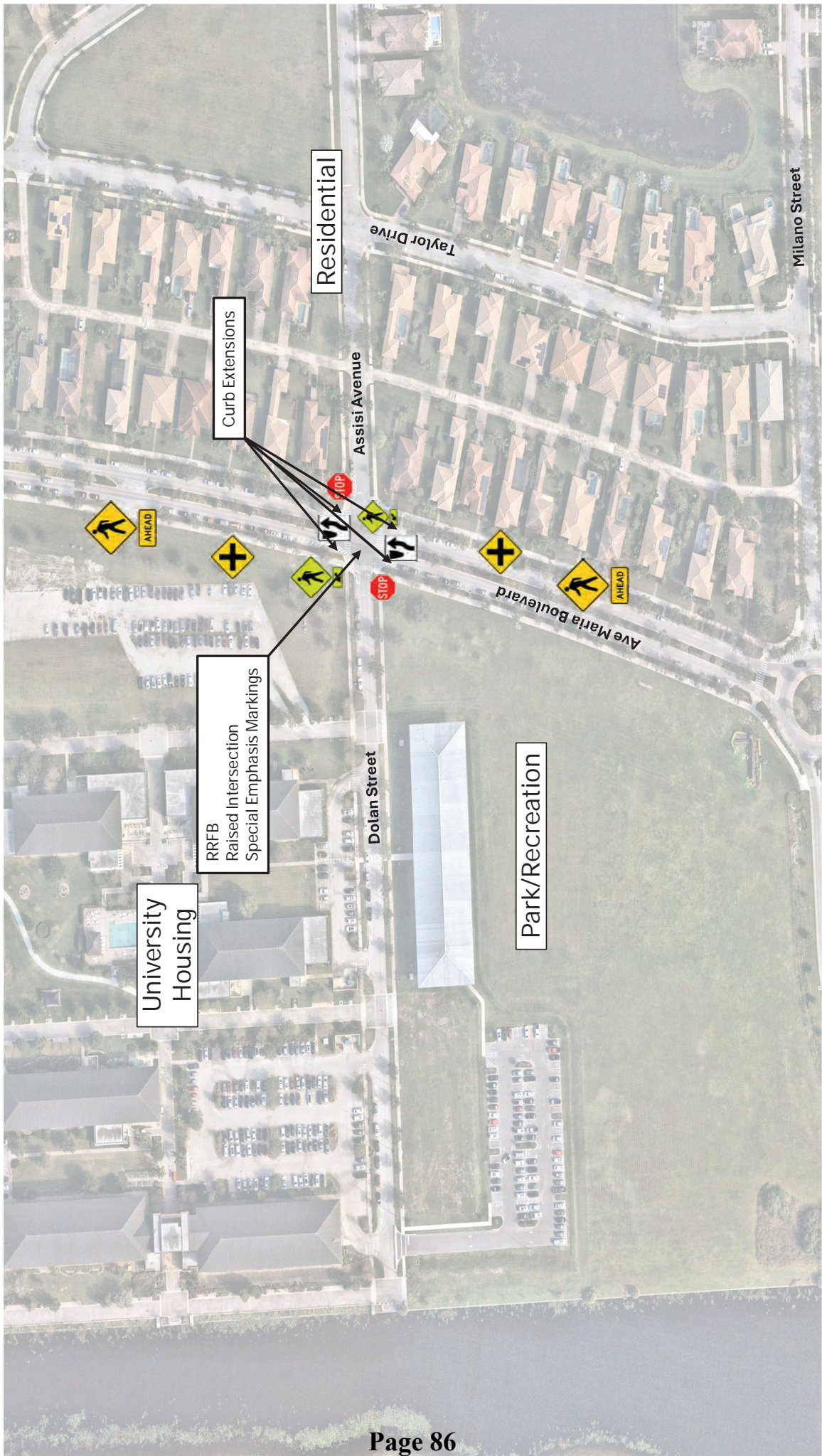
Useppa Drive

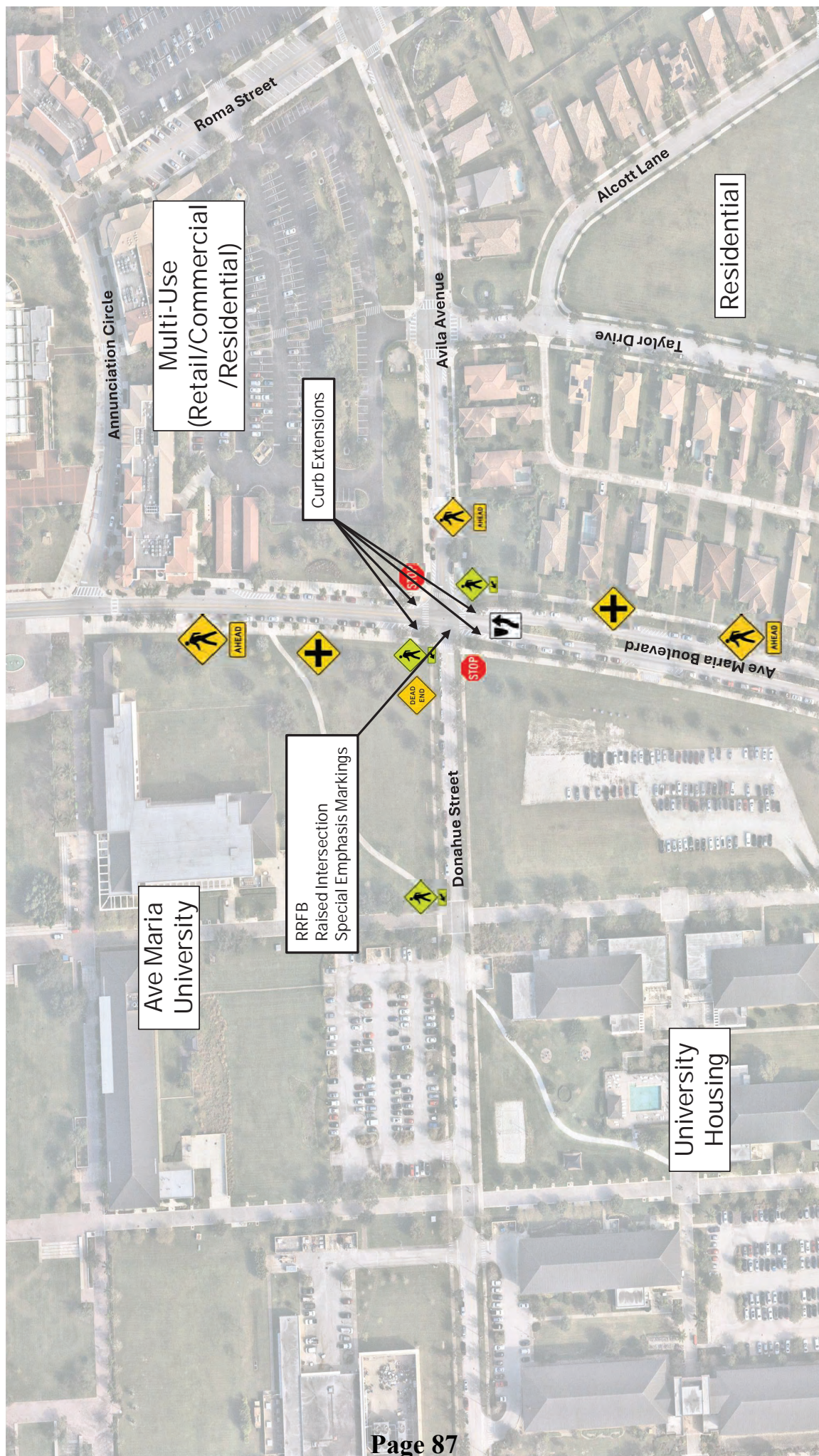
Commercial

Medical

Ave Maria Boulevard

Utilities





Attachment E

FHWA Guidance/Illustrations

Search

FHWA Highway Safety Programs

[Home](#) / [Safety](#) / [Speed Management Safety](#)

IN THIS SECTION



Module 3: Toolbox of Individual Traffic Calming Measures Part 2

- [3.9 Roundabout](#)
- [3.10 Speed Hump](#)
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- [3.12 Speed Table](#)
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- [3.15 Raised Intersection](#)
- [3.16 Corner Extension/Bulbout](#)
- [3.17 Choker](#)

3.9 Roundabout

DESCRIPTION AND GENERAL PURPOSE

A roundabout is an intersection design that contrasts with designs that require traffic signal control or stop control. A roundabout is often used as a replacement for a signalized intersection. A small modern roundabout and mini-roundabout are similar (presented as a separate traffic calming measure in section 3.8 of this ePrimer [provide link]).

A full roundabout is typically appropriate only at the intersection of two arterial streets or of an arterial street with a collector street. The full roundabout does not generally fit within the footprint of lower classification street intersections.

A roundabout is sized to accommodate all large vehicles circulating the center island and the center island is non-traversable.

A roundabout provides a horizontal deflection with an island at the entry point and requires every vehicle to follow a circuitous path no matter which departure leg of the intersection is the destination (as illustrated in Figure 3.9.1). As a result, traffic speeds are moderated (note: even though overall delay per vehicle may be reduced in comparison to a signalized or stop-controlled intersection).

The roundabout is included as a traffic calming measure in this ePrimer because it can be used to change the operating character of a roadway as it transitions from a higher-speed operation to a lower-speed operation within a higher-density community with more pedestrian presence.

The reader is referred to [NCHRP Report 672, Roundabouts: An Informational Guide](#) for a thorough description of roundabout characteristics, applicability, effectiveness, and design issues.

| | |
|---|---|
| Large Vehicle Safety and Mobility | <p>Larger vehicle typically crosses at slower speed than does a personal passenger motor vehicle</p> <p>Refer to Module 5 for additional discussion</p> |
| Accessibility of Adjacent Property | <p>May result in the removal of on-street parking adjacent to offset speed table, on both sides of the street</p> <p>Should be placed at least five feet from a driveway for comfort</p> |
| Environment | <p>Potential for increased noise due to vehicle braking and accelerating and to the vibration of loose items in truck beds or trailers</p> |
| Design Issues | <p>Placement factors include vertical and horizontal alignment of street, proximity to nearest intersection, location of driveways and on-street parking, presence or absence of street lighting, location of designated pedestrian crossings, drainage, and utility access points (drains, valves, etc.)</p> <p>Driver circumnavigation can be minimized with small median islands leading up to each table, with double-centerline and raised pavement markers</p> <p>Should not be located as to require the relocation of above-ground and below-ground utilities</p> <p>Typically, does not interfere with drainage; but roadway, drainage and hydraulic impacts should be evaluated</p> |

ADDITIONAL DESIGN CONSIDERATIONS

The spacing between offset speed tables is typically a minimum of 50 feet (measured between the closest taper edges).

Typical height of offset speed tables is between 3 and 3.5 inches, with an overall travel length of 22 feet. The most common speed table consists of a 10 foot plateau with 6 foot approaches on both sides that can be straight, parabolic or sinusoidal in profile. Speed tables with heights as great as 6 inches, ramps of up to 10 feet, and plateaus between 18 and 23 feet in length have been tested and found to better accommodate large vehicles with long wheelbases (such as fire trucks and transit buses).

An offset speed table should be clearly marked, so all roadway users are able to anticipate it and reduce their speeds appropriately.

3.14 Raised Crosswalk

DESCRIPTION AND GENERAL PURPOSE

A raised crosswalk is a variation of a flat-topped speed table. A raised crosswalk is marked and signed as a pedestrian crossing. The 10-foot flat top on a typical speed table conforms to a desired crosswalk width (see Figure 3.14.1).

There are two distinct raised crosswalk designs. Both use a modified version of the common 22-foot speed table:

- The most common type is constructed flush against the roadside curb.
- The other type is constructed on an open section (requiring a curb ramp on the raised crosswalk) or separate from the curb (requiring a curb ramp on both the curb and the raised crosswalk).

A raised crosswalk improves pedestrian safety by causing motorist speed to decrease at the crossing (see Figure 3.14.2).

A raised crosswalk is typically between 3 and 6 inches above street level. It is common for a raised crosswalk to be level with the street curb. This height increases the visibility of a pedestrian in a crosswalk to a motorist. It also improves the line of sight for a pedestrian toward an oncoming vehicle.

A raised crosswalk can be placed midblock or at an intersection.

A stop-animation film that demonstrates the benefits of a raised crosswalk can be accessed at the following hyperlink: <http://www.streetfilms.org/raised-crosswalk/> (Source: Streetfilms)

A video of pedestrians, bicyclists, and motor vehicles passing over a raised crosswalk can be accessed at the following hyperlink:

http://www.yargerengineering.com/articles/traffic_calming.html#Raised_crosswalk (Source: Yarger Engineering, Inc.)

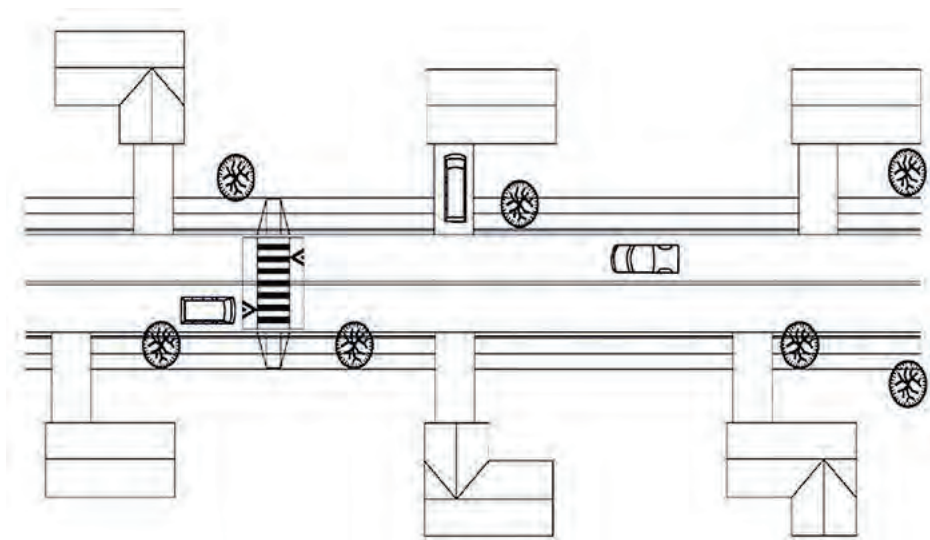


Figure 3.14.1. Raised Crosswalk Schematic
(Source: Delaware Department of Transportation)



Figure 3.14.2. Typical Raised Crosswalk Application
(Source: Jeff Gulden)

APPROPRIATE APPLICATION

| Appropriate Application – Raised Crosswalk | |
|--|---|
| Type of Street | <p>Appropriate if there is an existing crosswalk in the approximate crossing location or if a crosswalk is warranted based on local standards and criteria</p> <p>Generally installed on a residential local street or a collector street (or on a low-speed arterial street through a commercial district)</p> |
| Intersection or Roadway Segment | <p>Can be placed at a midblock location (see Figure 3.14.3) or at an intersection (see Figure 3.14.4)</p> <p>Should not be placed on a sharp curve; ITE <i>Guidelines for the Design and Application of Speed Humps</i> recommends a minimum horizontal curve radius of 300 feet</p> |

| | |
|-------------------------------|---|
| Roadway Cross-Section | <p>Can be used on a single-lane one-way or two-lane two-way street</p> <p>Typically installed with an urban cross-section (i.e., curb and gutter)¹⁵ but an open section can be acceptable</p> <p>Cross-section can include on-street parking</p> <p>Can be applied both with and without sidewalks or bicycle facilities</p> |
| Speed Limit | <p>ITE <i>Guidelines for the Design and Application of Speed Humps</i> recommends consideration only on a street with a posted speed limit of 30 mph or less; many jurisdictions follow the same maximum (e.g., South Carolina, Pennsylvania); others have chosen a 35 mph maximum (e.g., Delaware, Pasadena)</p> <p>Generally not appropriate when the pre-implementation 85th percentile speed is 45 mph or more</p> |
| Vehicle Traffic Volume | <p>A maximum traffic volume could be appropriate if the raised crosswalk functions more as a speed table; however, many raised crosswalks are installed at locations with high pedestrian volume, high vehicle volume, and low vehicle speed (for example, in a downtown)</p> |
| Emergency Route | <p>Generally not appropriate for a primary emergency vehicle route or street that provides access to a hospital or emergency medical services</p> |
| Transit Route | <p>Can be appropriate for a bus transit route if typical bus operating speeds are in 25 mph range</p> <p>Should not be located near bus stop to insure passengers are not transitioning between standing and sitting as the bus crosses over raised crosswalk</p> |
| Access Route | <p>Not appropriate along the primary access to a commercial or industrial site</p> |
| Grade | <p>Can be installed on a crest vertical curve only if there is adequate stopping sight distance or appropriate warning signs provided</p> <p>ITE <i>Guidelines for the Design and Application of Speed Humps</i> recommends consideration only with a grade of 8 percent or less; many jurisdictions adhere to that maximum grade (e.g. Pennsylvania, South Carolina; Portland OR) but others follow a lower maximum: Delaware – 6 percent; Minnesota – 5 percent</p> |

¹⁵ If the street does not have curbing, an obstruction such as signing, flexible delineator posts, or bollards may be acceptable to prevent a motorist from driving around the table. Potentially hazardous objects (e.g., rocks, boulders) should not be used.



Figure 3.14.3. Raised Crosswalk Midblock
(Source: R. Goldberg)



Figure 3.14.4. Raised Crosswalk at Intersection

(Source: City of Cambridge, Massachusetts)

EFFECTS AND ISSUES

| Effects and Issues – Raised Crosswalk | |
|---------------------------------------|--|
| Vehicle Speed | <p>Single raised crosswalk reduces 85th percentile speeds to the range of 20 to 30 mph when crossing the crosswalk; speed reduction effects decline at the rate of approximately 0.5 to 1 mph every 100 feet beyond the 200 foot approach and exit of a raised crosswalk; in order to retain slower vehicle speeds over a longer distance, a series of speed tables or raised crosswalks is needed</p> <p>ITE <i>Guidelines for the Design and Application of Speed Humps</i> recommends a spacing of between 260 and 500 feet; some jurisdictions have refined these guidelines:</p> <ul style="list-style-type: none"> • Pennsylvania – spacing between 250 and 600 feet • South Carolina – spacing of no less than 350 feet • Virginia – spacing of approximately 500 feet, with clear visibility of 200 feet, and placement no closer than 200 feet from an intersection • Pasadena – only on a street segment that is at least 1,200 feet in length and on which any traffic signals or Stop signs are at least 1,200 feet apart <p>Proper placement of the initial raised crosswalk in a series is significant; ITE <i>Guidelines for the Design and Application of Speed Humps</i> recommends "the first [raised crosswalk] in a series is normally located in a position where it cannot be approached at high speed from either direction; to achieve this objective, it is typically installed within 200 feet or less of a small-radius curve or Stop sign or, if installed on a street with a significant downgrade, at the top of a hill"</p> <p>Refer to Module 4 for additional data</p> |
| Vehicle Volume | <p>As single installation, there is little traffic diversion from the street; as part of a series, typical volume reductions of 20 percent observed</p> <p>Refer to Module 4 for additional data</p> |
| Pedestrian Safety and Mobility | <p>Pedestrian safety improved because (1) vehicle speed is lowered at crosswalk, (2) pedestrian in a raised crosswalk is more visible to an oncoming motorist and (3) pedestrian has an elevated view of oncoming traffic; raised crosswalk could be combined with a curb extension to provide additional visibility for pedestrian (see Figure 3.14.5)</p> <p>If raised crosswalk is the same height as the curb, edge of the raised crosswalk should be differentiated with a detectable warning or truncated domes to warn a person with a visual impairment</p> <p>Refer to Module 6 for additional discussion</p> |

| | |
|--|---|
| Bicyclist Safety and Mobility | <p>Bicyclist safety should not be affected; some jurisdictions use a maximum street grade of 5 percent if the street is designated as a bicycle route</p> <p>Bicyclist can negotiate a raised crosswalk with little delay or discomfort (see Figure 3.14.6)</p> |
| Motorist Safety and Mobility | <p>Produces sufficient discomfort to a motorist driving above the raised crosswalk design speed to discourage speeding</p> |
| Emergency Vehicle Safety and Mobility | <p>Less speed delay than for a speed hump</p> <p>Has less jarring effect on long, stiff-bodied emergency service vehicle</p> <p>Refer to Module 5 for additional discussion</p> |
| Large Vehicle Safety and Mobility | <p>Larger vehicle typically crosses at slower speed than does a personal passenger motor vehicle</p> <p>Refer to Module 5 for additional discussion</p> |
| Accessibility of Adjacent Property | <p>May result in the removal of on-street parking adjacent to raised crosswalk, on both sides of the street</p> <p>Typically placed at least five feet from a driveway but can be designed to incorporate a driveway</p> |
| Environment | <p>Potential for increased noise due to vehicle braking and accelerating and to the vibration of loose items in truck beds or trailers</p> |
| Design Issues | <p>Placement factors include vertical and horizontal alignment of street, proximity to nearest intersection, location of driveways and on-street parking, presence or absence of street lighting, location of designated pedestrian crossings, drainage, and utility access points (drains, valves, etc.)</p> <p>Extends from curb to curb and therefore affects surface drainage on the roadway; likely that a catch basin will be required on the upstream side of the raised crosswalk; drainage and hydraulic impacts need to be evaluated</p> <p>Should not be located as to require the relocation of above-ground and below-ground utilities</p> |



Figure 3.14.5. Raised Crosswalk with Curb Extension
 (Source: Scott Batson)



Figure 3.14.6. Raised Crosswalk with Bicycle Lane

(Source: Scott Batson)

ADDITIONAL DESIGN CONSIDERATIONS

The primary difference between a speed table design and a raised crosswalk design is the height and manner in which it meets the curb.

Most agencies implement raised crosswalks with a height of between 3 and 3.5 inches and an overall travel length of 22 feet. The most common raised crosswalk consists of a 10 foot plateau with 6 foot approaches on either side that can be straight, parabolic, or sinusoidal in profile.

A raised crosswalk requires incorporation of all the standard crosswalk design elements. The markings must be visible to motorists, especially at night.

For a raised crosswalk, the longitudinal drainage taper can be removed to form a level pedestrian crossing. Drainage will still need to be provided, such as by using a trench drain through the raised crosswalk and covered with an ADA-compliant grate (see Figure 3.14.7). Another option is to place the drainage inlet upstream of the raised crosswalk.

A raised crosswalk should be clearly marked, so all roadway users are able to anticipate it and reduce their speeds appropriately.

So that a person with visual impairment can differentiate the roadway from the sidewalk at a raised crosswalk, color contrasts and detectable warnings or truncated domes at edges can enable a pedestrian with a vision impairment to detect the crossing.

A sample design for a raised crosswalk is presented in Figure 3.14.8.



Figure 3.14.7. Raised Crosswalk Design to Accommodate Drainage
(Source: Jeff Gulden)

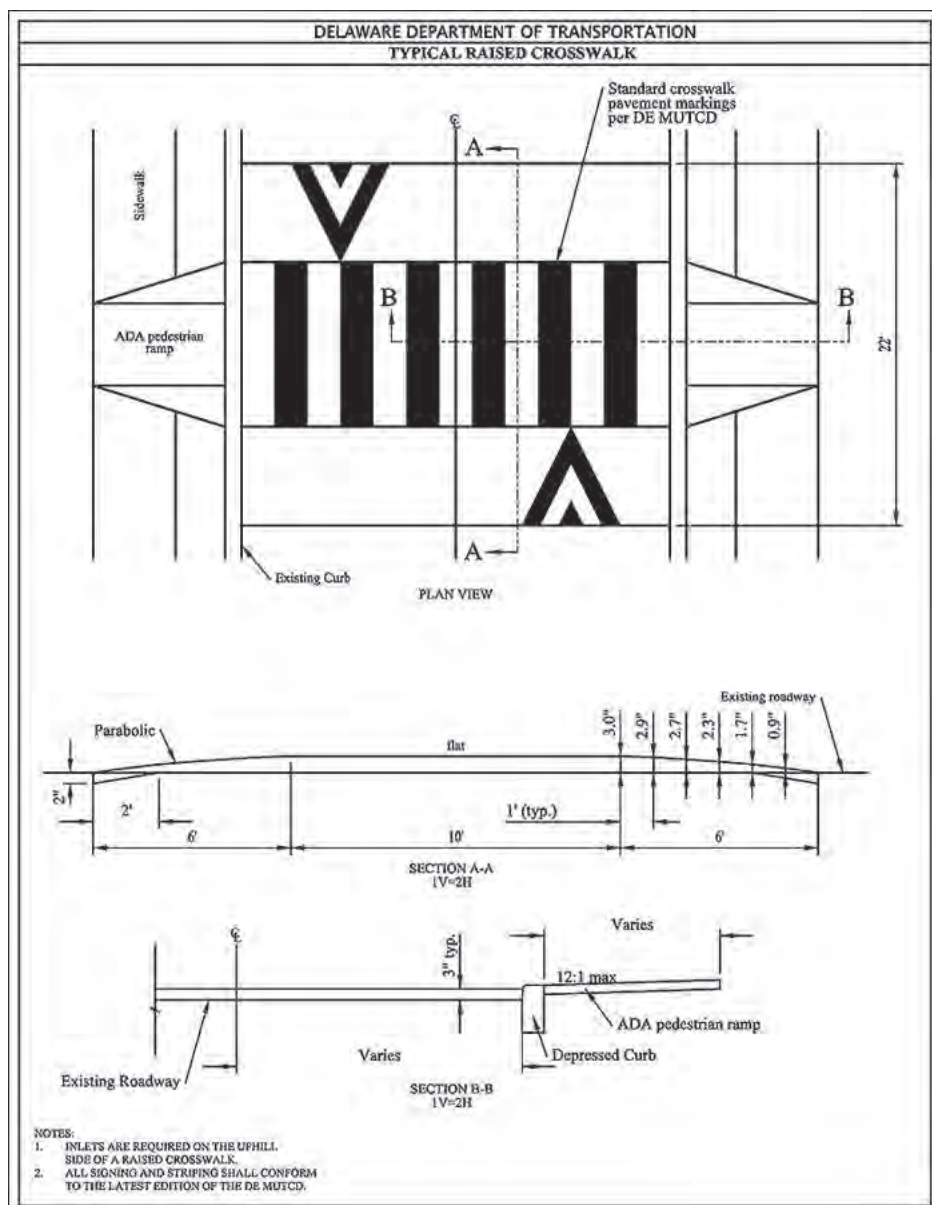


Figure 3.14.8. Sample Design for Raised Crosswalk

(Source: Delaware Department of Transportation)

3.15 Raised Intersection

DESCRIPTION AND GENERAL PURPOSE

A raised intersection is a flat, raised area covering an entire intersection with ramps on all approaches. It is essentially a speed table that covers an entire intersection, including the crosswalks (see Figure 3.15.1).

The purpose of a raised intersection is to slow vehicle traffic through the intersection and to improve safety for pedestrians. It has the advantage of calming two streets at once.

A raised intersection typically rises to sidewalk level.

A raised intersection is especially applicable in a dense urban area (see Figure 3.15.2). A typical installation is at a signal-controlled or all-way stop-controlled intersection with a large volume of street-crossing pedestrians. A raised intersection reinforces the need for a motorist to drive cautiously and be wary of crossing pedestrians.

[A raised intersection is also called a raised junction, intersection hump, or plateau.]

[Two field studies of five raised intersections measured reductions between 1 and 5 mph for 85th percentile speeds (Source: FHWA, Engineering Speed Management Countermeasures: A Desktop Reference of Potential Effectiveness in Reducing Speed, July 2014) <https://www.highways.dot.gov/safety/speed-management/engineering-speed-management-countermeasures/>]

A video of pedestrians, bicyclists, and motor vehicles passing over a raised intersection can be accessed at the following hyperlink:
http://www.yargerengineering.com/articles/traffic_calming.html#Raised_intersections (Source: Yarger Engineering, Inc.)



Figure 3.15.1. Raised Intersection
(Source: Yarger Engineering, Inc.)



Figure 3.15.2. Raised Intersection in Dense Urban Setting
(Source: Ian Lockwood)

APPROPRIATE APPLICATION

| Appropriate Application – Raised Intersection | |
|---|--|
| Type of Street | <p>Appropriate if there are existing crosswalks on all four legs of the intersection or if crosswalks are warranted</p> <p>Appropriate for the intersection of collector, local, and residential subdivision streets</p> <p>Can be appropriate in both a residential setting (see Figure 3.15.3) and in a commercial business district</p> <p>Could be acceptable on a low-speed arterial in a downtown business district with significant pedestrian activity</p> |

| | |
|--|---|
| Intersection or Roadway Segment | Placed at an intersection Can be a T-intersection or multi-leg intersection |
| Roadway Cross-Section | Approach legs can be either one-way or two-way Appropriate only with an urban cross-section (i.e., curb and gutter) that includes sidewalks on all sides of the intersection Can include on-site parking on the approach legs Appropriate if a bicycle facility passes through the intersection |
| Speed Limit | Maximum speed limit of 30 mph based on ITE <i>Guidelines for the Design and Application of Speed Humps</i> and some jurisdictions (e.g., South Carolina, Pennsylvania); others use a 35 mph maximum (e.g., Delaware) |
| Vehicle Traffic Volume | Appropriate if the daily traffic volume on each intersection approach is relatively low; example thresholds include Pennsylvania with a maximum of 10,000 vehicles per day and South Carolina which uses 4,000 on each leg in a residential setting and 6,000 on each leg in a commercial area |
| Emergency Route | Can be an appropriate application for a primary emergency vehicle route or on street that provides access to a hospital or emergency medical services |
| Transit Route | Can be an appropriate application for a bus transit route |
| Access Route | Generally not appropriate along the primary access to a commercial or industrial site |
| Grade | Can be installed on a crest vertical curve only if there is adequate stopping sight distance or if appropriate warning signs are provided Maximum grade of 8 percent recommended in ITE <i>Guidelines for the Design and Application of Speed Humps</i> and used by some jurisdictions (e.g., Pennsylvania, South Carolina); Delaware uses a maximum of 6 percent; Minnesota uses a maximum of 5 percent |



Figure 3.15.3. Raised Intersection in Residential Setting without Raised Crosswalks
(Source: Google Street View)

EFFECTS AND ISSUES

Effects and Issues – Raised Intersection

| | |
|--|---|
| Vehicle Speed | A single raised intersection reduces 85 th percentile speeds to the range of 25 to 35 mph when crossing the intersection; vehicle speeds at some distance from the intersection have not been shown to change appreciably |
| Vehicle Volume | As a single installation, there is little traffic diversion from the intersection |
| Pedestrian Safety and Mobility | <p>Pedestrian safety is improved because a pedestrian is more visible to an oncoming motorist and the pedestrian has an elevated view of oncoming traffic (see Figure 3.15.4)</p> <p>If the same height as the curb, the edge of the raised intersection should be differentiated with a tactile measure to warn a person with a visual impairment</p> <p>Refer to Module 6 for additional discussion</p> |
| Bicyclist Safety and Mobility | Should not be affected by a raised intersection unless pavers (or some other textured surface) are used |
| Motorist Safety and Mobility | Produces sufficient discomfort to a motorist driving above the raised intersection design speed to discourage speeding |
| Emergency Vehicle Safety and Mobility | <p>A large emergency vehicle typically crosses a raised intersection at a slower speed than does a personal passenger motor vehicle</p> <p>Refer to Module 5 for additional discussion</p> |
| Large Vehicle Safety and Mobility | <p>A larger vehicle typically crosses a raised intersection at a slower speed than does a personal passenger motor vehicle; a typical raised intersection delay for a large commercial vehicle is in the range of 2 to 6 seconds</p> <p>Refer to Module 5 for additional discussion</p> |
| Accessibility of Adjacent Property | Should not result in any change in accessibility to property along all legs of the intersection; on-street parking restrictions and driveway accessibility should be the same whether intersection is raised or level |
| Environment | <p>Can serve as a form of gateway treatment at or near the entrance to an area for which traffic calming is desired</p> <p>Traffic noise may increase from braking and acceleration of vehicles</p> |
| Design Issues | <p>Likely requires changes in access to below-ground utilities</p> <p>Requires redesign of surface drainage structures that serve the intersection and approach legs</p> |



Figure 3.15.4. Raised Intersection with Raised Crosswalks
(Source: Google Street View)

ADDITIONAL DESIGN CONSIDERATIONS

The design of a raised intersection needs to pay close attention to the existing drainage systems because the grade of the entire intersection will be raised. Additional (or relocated) drainage inlets will likely be required.

In order to enable a pedestrian with a visual impairment to differentiate between the roadway and the sidewalk, measures such as color contrasts and detectable warning truncated domes at edges must be included.

A minimum pavement slope of 1 percent (or the local practice standard) should be provided within the raised intersection to facilitate surface drainage. Surface drainage implications on the approaches to a raised intersection should also be addressed.

A sample design for a raised intersection is presented in Figure 3.15.5.

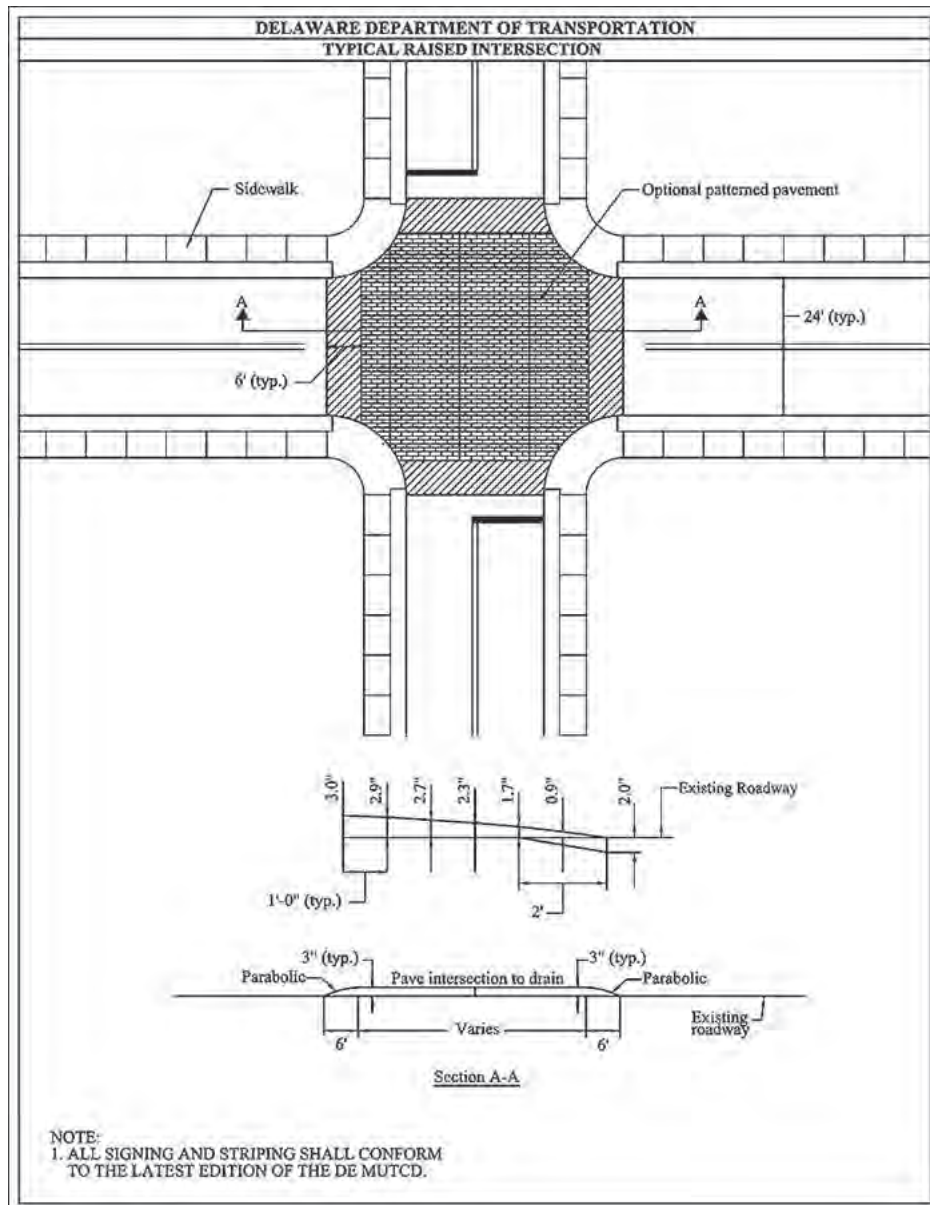


Figure 3.15.5. Sample Design for Raised Intersection

(Source: Delaware Department of Transportation)

3.16 Corner Extension/Bulbout

DESCRIPTION AND GENERAL PURPOSE

[Other terms include neckdown, corner extension, pop-out, bump out, knuckle and nub. If coupled with a crosswalk, a roadway narrowing can be referred to as a safe cross. When placed at the entrance to a neighborhood, often with textured paving between a pair of them, a bulb-out or corner extension is called a gateway or entry feature.]

A curb extension is a horizontal extension of the sidewalk into the street resulting in a narrower roadway section (see Figure 3.16.1). This device may be used at either corner or midblock. A curb extension at an intersection is called a corner extension or bulbout. A curb extension located midblock is called a choker [provide link to section 3.17].

When combined with on-street parking, a corner extension can create a protected parking bay.

The effect of a corner extension on vehicle speeds is limited because of the absence of either a pronounced vertical or horizontal deflection. Its primary purpose is to "pedestrianize" an intersection. A corner extension (with a reduced corner radius) slows automobile turning speeds, shortens pedestrian crossing distance, and increases pedestrian visibility (see Figure 3.16.2).

When a corner extension is part of a downtown redevelopment project, it can go hand-in-hand with on-street parking bays and crosswalks (in "safe cross" designs).

A corner extension can be combined with a vertical speed control device (e.g., a raised crosswalk) to achieve a greater reduction in vehicle speed.

[Two field studies of five corner extensions measured reductions between 1 and 3.5 mph for 85th percentile speeds (Source: FHWA, Engineering Speed Management Countermeasures: A Desktop Reference of Potential Effectiveness in Reducing Speed, July 2014) <https://www.highways.dot.gov/safety/speed-management/engineering-speed-management-countermeasures>]

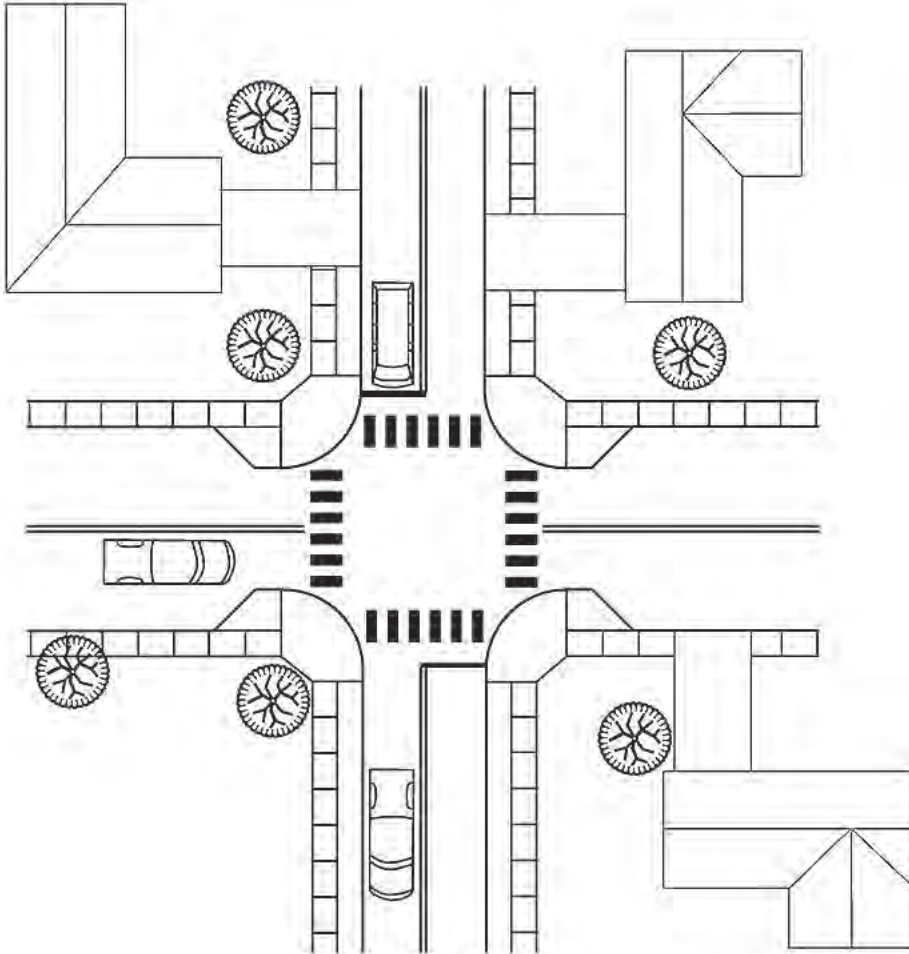


Figure 3.16.1. Corner Extension Schematic
(Source: Delaware Department of Transportation)



Figure 3.16.2. Corner Extension with Shortened Pedestrian Crossing Distance
(Source: Hillary Orr)

APPROPRIATE APPLICATION

| Appropriate Application – Corner Extension/Bulbout | |
|--|---|
| Type of Street | <p>Appropriate for all street classifications – arterial, collector, or local street</p> <p>Can be appropriate in both an urban and suburban setting (see Figures 3.16.3 and 3.16.4)</p> |
| Intersection or Roadway Segment | <p>Applicable only at an intersection; if placed midblock, considered a choker [provide link to section 3.17]</p> <p>Can be applied on any or all of the approach legs of an intersection with any number of legs</p> |
| Roadway Cross-Section | <p>Can be used on both one-way and two-way streets</p> <p>Can be installed only on a roadway with an urban cross-section (i.e., curb and gutter)</p> <p>Can be applied both with and without a bicycle facility</p> <p>Can be applied on a roadway with, and can protect, on-street parking</p> |
| Speed Limit | <p>Can be appropriate for any speed limit, provided an adequate shy distance is provided between the travel lane and the corner extension curb</p> <p>Pennsylvania uses a maximum of 40 mph provided travel lanes are not narrowed; Delaware uses 35 mph</p> |
| Vehicle Traffic Volume | <p>Can be appropriate at all levels of traffic volume; Pennsylvania permits daily volumes as high as 15,000 provided travel lanes are not narrowed</p> |
| Emergency Route | <p>Can be appropriate along a primary emergency vehicle route or street that provides access to a hospital or emergency medical services (if appropriate turning radii can be provided)</p> |

| | |
|----------------------|---|
| Transit Route | <p>May not be appropriate where a bus turns along a transit route if an adequate turning radius cannot be provided; the stop bar on the opposite travel lane on the receiving leg of the intersection may need to be moved back in order to accommodate frequent transit vehicles making a turn; the number of turning transit vehicles and the total traffic volume on the receiving street are both factors when a corner extension is considered</p> <p>An extended length corner extension could enable a bus stop landing area for both front and back transit bus doors, thereby eliminating the need for a bus to pull out of (and pull back into) traffic</p> <p>A corner extension bus stop eliminates the need to remove on-street parking that would enable a transit vehicle to maneuver to and from the traditional curb</p> |
| Access Route | <p>Typically not appropriate along a primary access route to a commercial or industrial site if an adequate turning radius cannot be provided; the number of large turning vehicles and the total traffic volume on the receiving street are both factors when a corner extension is considered</p> |
| Grade | <p>Can be installed on a crest vertical curve only if there is adequate stopping sight distance or if appropriate warning signs are provided</p> <p>Maximum grade should comply with local standards and criteria; Delaware uses a maximum grade of 6 percent</p> |

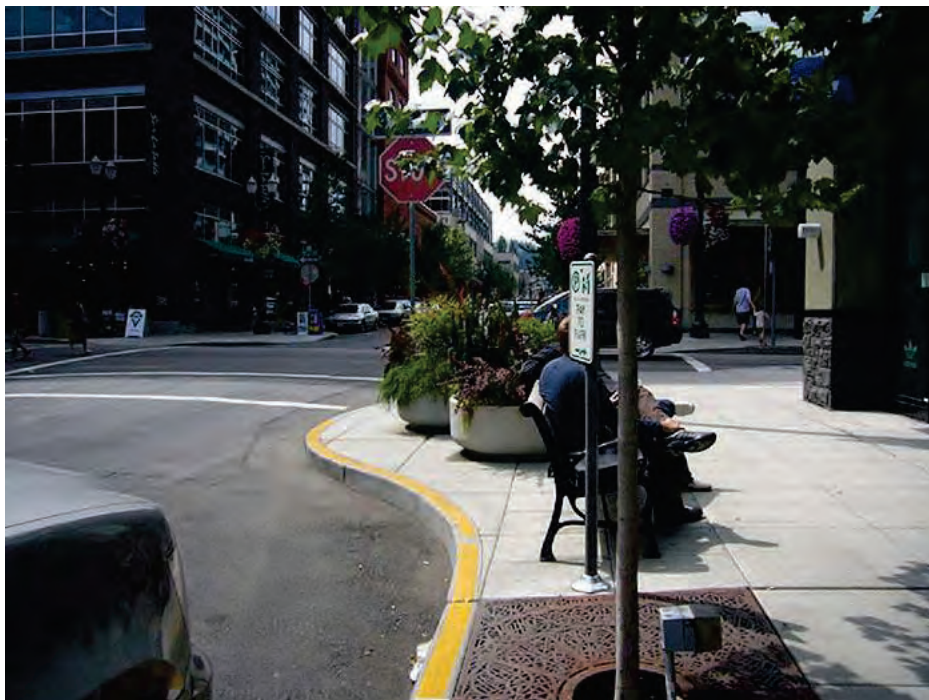


Figure 3.16.3. Corner Extension in Urban Setting
(Source: Jennifer Rosales)



Figure 3.16.4. Corner Extension in Suburban Setting

(Source: www.pedbikeimages.org / Michael Austin)

EFFECTS AND ISSUES

| Effects and Issues – Corner Extension/Bulbout | |
|---|---|
| Vehicle Speed | <p>Can slow traffic by funneling through narrower street opening than is provided in upstream cross-section; speeds likely to decrease slightly; amount of speed reduction depends on volume and distribution of traffic</p> <p>Speeds are reduced on intersection approach and through intersection area</p> <p>Shorter curb radius can slow turning vehicles; if large right-turning volume, could increase delay and lower speeds</p> |
| Vehicle Volume | <p>Has little effect on traffic volumes; access and turns are maintained and traffic speeds are not changed dramatically</p> |
| Pedestrian Safety and Mobility | <p>Shortens intersection crossing distance for a pedestrian; shorter distance reduces the potential for pedestrian-vehicle conflict and likely improves pedestrian safety</p> <p>Provides additional queuing space for pedestrians at corner</p> <p>Because corner extension is elevated above the vehicle travel lanes, improves line-of-sight for pedestrian at the corner and makes that pedestrian more visible to oncoming motorist; also enables pedestrian to stand at edge of parked vehicles, further increasing visibility</p> <p>Refer to Module 6 for additional discussion</p> |
| Bicyclist Safety and Mobility | <p>Should not extend into a bicycle lane (see Figure 3.16.5)</p> |
| Motorist Safety and Mobility | <p>Likely to have minimal effect on motorist mobility and safety</p> <p>Presence of physical feature reduces possibility of illegal parking close to intersection</p> |
| Emergency Vehicle Safety and Mobility | <p>Retains sufficient width to allow for continued easy flow of emergency vehicles</p> <p>Shortened curb radius may require emergency vehicle turning at intersection to swing across centerline</p> <p>Refer to Module 5 for additional discussion</p> |

| | |
|---|---|
| Large Vehicle Safety and Mobility | <p>Retains sufficient width to allow for continued easy flow of large vehicles like combination trucks</p> <p>Shortened curb radius may require large vehicle turning at intersection to swing across centerline</p> <p>Refer to Module 5 for additional discussion</p> |
| Accessibility of Adjacent Property | <p>May require removal of some on-street parking immediately adjacent to intersection</p> |
| Environment | <p>Can be used as a landscaping opportunity; many cities use bioswale curb extensions to capture stormwater (see Figure 3.16.6); if the corner extension includes a pedestrian crossing, the landscaping should be designed to not obstruct pedestrian visibility</p> |
| Design Issues | <p>Relocation of curbing and pedestrian queuing area may require relocation of drainage features such as catch basins, concrete channels, valley gutters, inlets, and trench drains</p> <p>May require relocation of above- and below-ground utilities</p> |



Figure 3.16.5. Corner Extension and Bicycle Lane
 (Source: Scott Batson)



Figure 3.16.6. Corner Extension with Bioswale
(Source: Scott Batson)

ADDITIONAL DESIGN CONSIDERATIONS

The design of a corner extension needs to pay close attention to the existing drainage system because the gutter alignment will be altered (see Figure 3.16.7). A corner extension could necessitate a major utility relocation particularly if additional drainage inlets are required (see Figure 3.16.8).

A corner extension is typically constructed to a width of between 6 and 8 feet. It should be offset from the through traffic lane by 1.5 feet.

A sample design for a corner extension is presented in Figure 3.16.9.



Figure 3.16.7. Corner Extension with Realigned Gutter
(Source: Jeff Gulden)



Figure 3.16.8. Corner Extension with Drainage Structure Relocation
(Source: James R. Barrera)

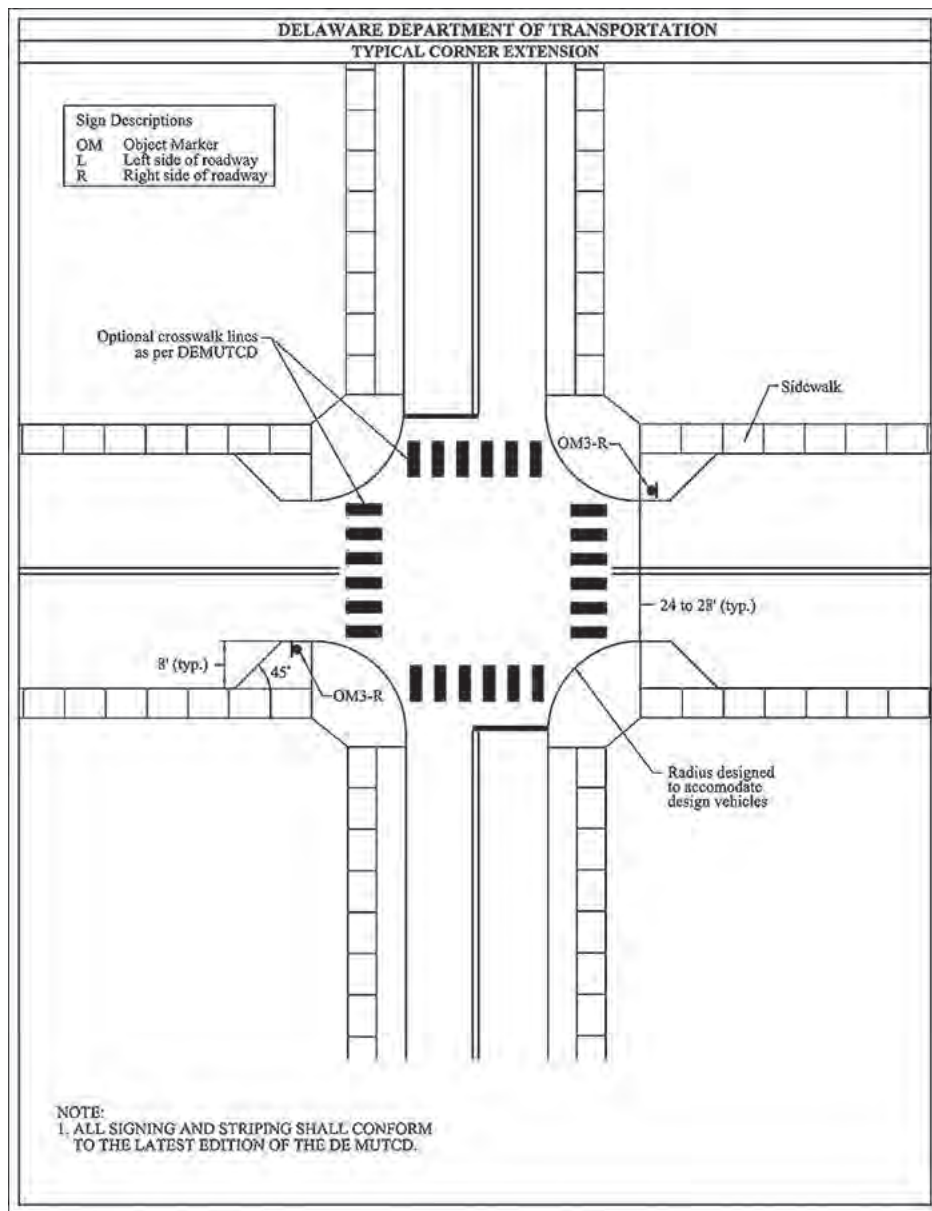


Figure 3.16.9. Sample Design for Corner Extension
(Source: Delaware Department of Transportation)

3.17 Choker

DESCRIPTION AND GENERAL PURPOSE

A curb extension is a horizontal extension of the curb into the street resulting in a narrower roadway section. This device may be used at either corner or midblock. A curb extension located midblock is called a choker. A curb extension located at an intersection is called a corner extension or bulbout [provide link to section 3.16].

A choker is the narrowing of a roadway through the use of curb extensions or roadside islands (see Figure 3.17.1). It can be created by a pair of curb extensions at a midblock location that narrows the street by widening the sidewalk or planting strip at that location. A choker can also be created through the use of roadside islands. This narrowing is intended to discourage motorist speeding and to reduce vehicle speeds in general.

Within a choker on a two-way, two lane roadway, vehicles are able to pass each other without conflict. But the narrower cross-section lowers the margin of error for motorists who, as a result, tend to moderate their speed. In some applications, a double-lane choker is combined with a median island as a means to reduce the possibility of opposing vehicle conflicts.

A one-lane choker forces two-way traffic to take turns going through the pinch point. If the roadway is narrowed to a single lane, the lane can be either parallel to the initial roadway alignment or angled to the alignment. The former is called a parallel choker, the latter an angled choker, twisted choker, or angle point (see Figure 3.17.2).

A choker can be located at any spacing desired for traffic calming. A choker is often combined with on-street parking to create a protected parking bay.

Landscaping on a choker can make the traffic calming feature attractive and can make it more visible to the motorist.

Attachment F

FDOT FDM – Hardened Centerlines

210.3.2.4 Corner Islands

Where the inside edges of the traveled way for right-turns are designed to accommodate semi-trailer combinations or where the design permits passenger vehicles to turn at speeds greater than 10 mph, the pavement area within the intersection may become excessively large and may create longer crossing paths for pedestrians. This may also occur at intersections with turning angles greater than 90 degrees. To avoid this condition, a corner channelizing island can be provided to form a separate turning roadway.

FDM 212.12 provides information on the design of turning roadways with corner islands.

210.3.3 Hardened Centerlines

When it is not possible to provide a pedestrian refuge island, a hardened centerline should be provided where feasible depending on vehicle turning movements within the intersection.

Hardened centerlines are an extension of the traffic separator or centerline past the crosswalk. Hardened centerlines improve pedestrian safety by reducing the turning speeds of left-turning motorists and by improving their approach angle to the crosswalk to increase pedestrian visibility (see **Figure 210.3.6** and **Figure 210.3.7**). See **FDM 222** for more information on pedestrian facilities.

Figure 210.3.6 Crosswalk without Hardened Centerline



Figure 210.3.7 Crosswalk with Hardened Centerline



The nose extension can be no less than 2 feet long and must provide 1 foot of clear distance from the edge of the crossing traffic lane or bicycle lane. A 6-ft nose extension is preferred, but the designer can adjust the length to balance control of the left-turning vehicle with the design vehicle turning path.

Where applicable, space multiple tubular markers a minimum of 2 feet and a maximum of 5 feet apart. Provide tubular markers for a minimum of 25 feet along the traffic separator or centerline approaching the crosswalk.

If tubular markers on the nose extension are not practicable to accommodate sight distance or turning radii, use a “channelizing curb” for the nose extension. Use ***Developmental Specification Dev703*** for channelizing curb. Detail channelizing curb in the plans showing the length of the nose extension as described above. Channelizing curb products are typically prefabricated in 6-ft lengths with additional length for the endcaps.

Hardened centerlines may be used with offset left-turn lanes.

Figure 210.3.8 Hardened Centerline with Traffic Separator

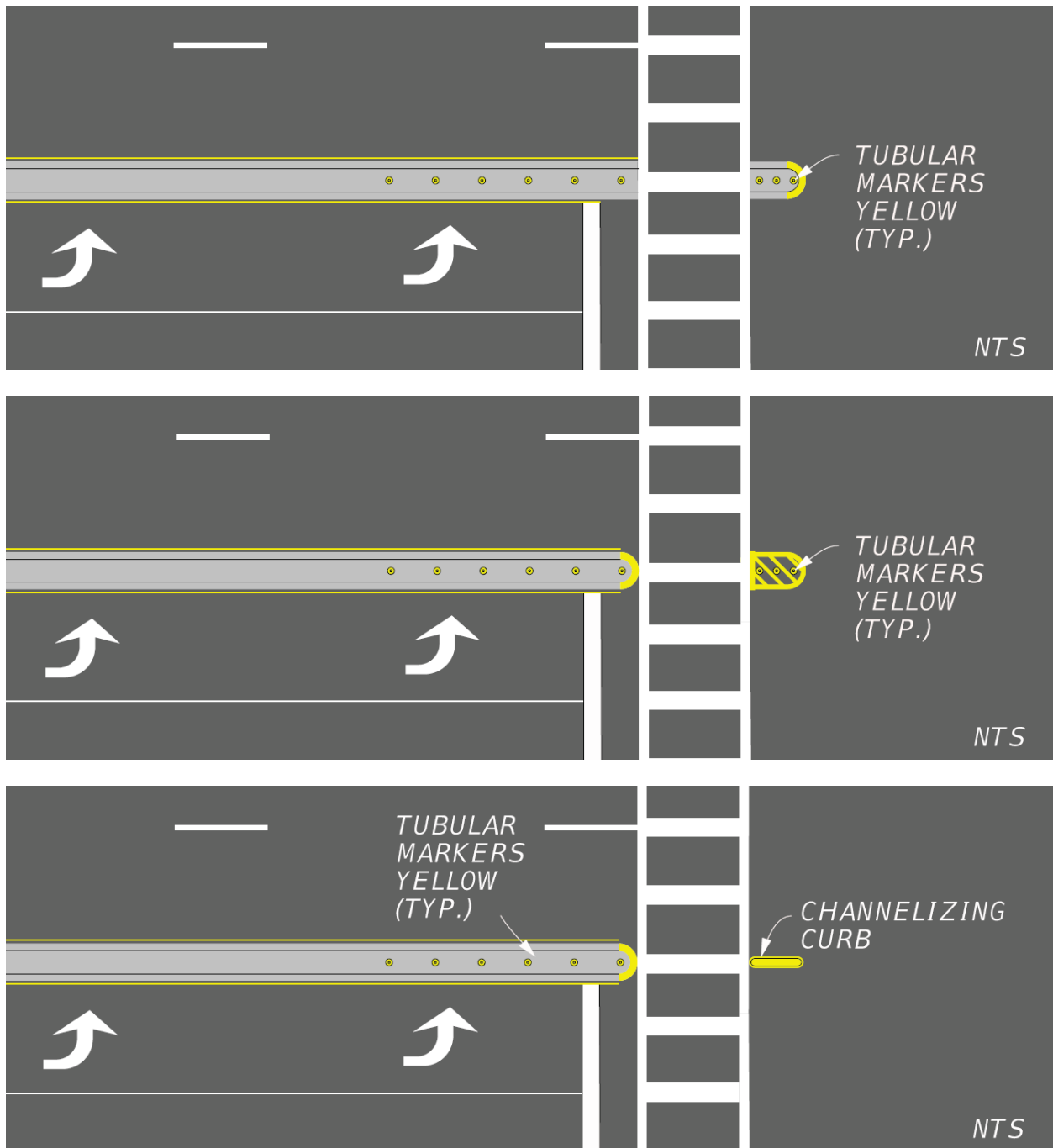
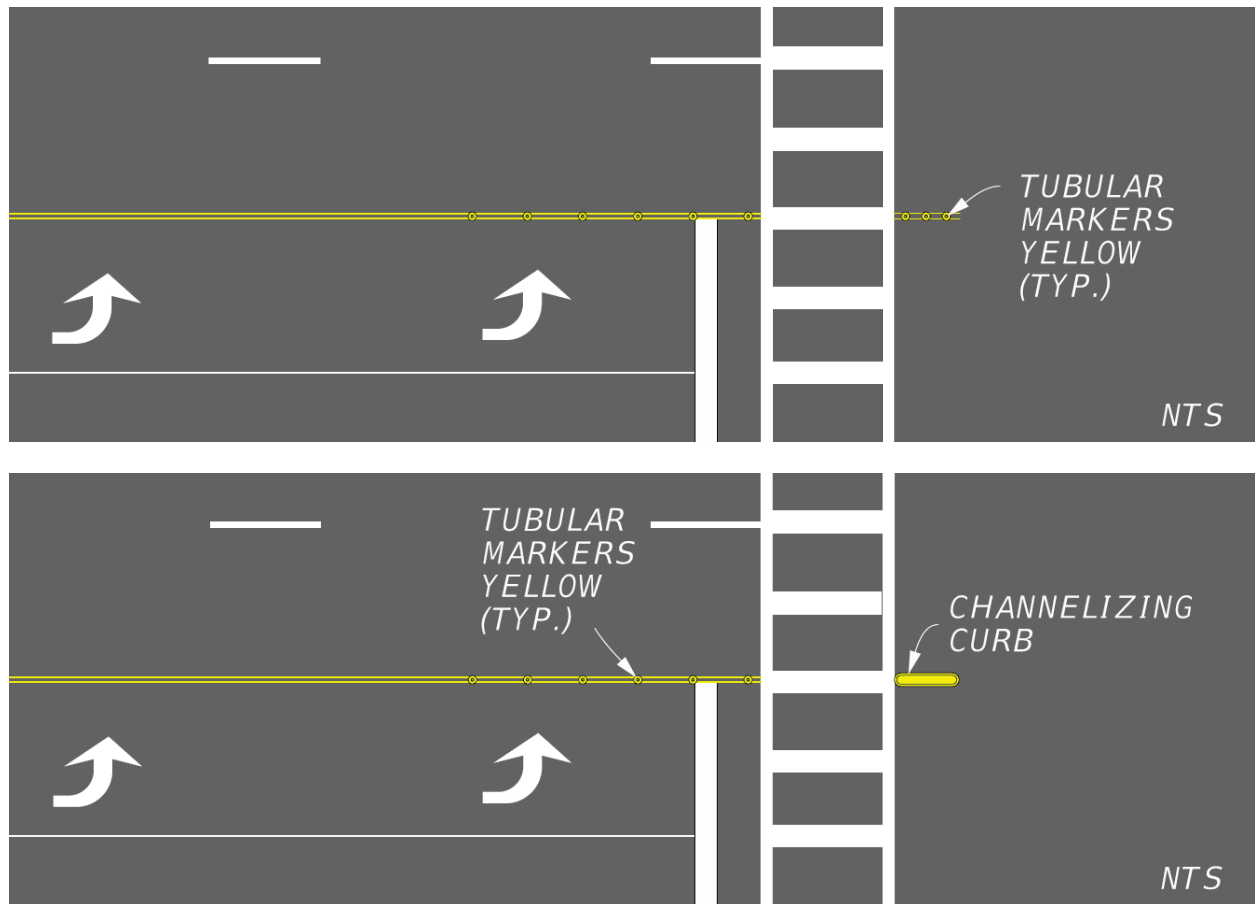


Figure 210.3.9 Hardened Centerline without Traffic Separator



210.4 Shoulders

Roadway shoulder width is measured from the edge of the traveled way to the shoulder break. A portion of the shoulder is required to be paved on all roadways on the State Highway System. A paved shoulder is the portion of the roadway contiguous with the traveled way for accommodation of errant vehicles, stopped vehicles, bicycle traffic, and emergency use.

When it is determined that the Helmeted Bicyclist Symbol and Bicycle Lane Arrow pavement markings (see **FDM 223.2.2**) will be placed on the shoulder of a flush shoulder roadway, the paved width for the outside shoulder without shoulder gutter must be either 5 feet as shown in **Table 210.4.1** or 8 feet.

Attachment G

Opinion of Probable Cost

OPINION OF PROBABLE COST
AVE MARIA BOULEVARD CROSSWALK ANALYSIS
Date: 11/24/2025

| Pay Item Number | Pay Item Description | Quantity | Unit | Engineer's Unit Cost | Total Engineer's Cost |
|------------------------------|---|----------|------|-------------------------------------|-----------------------|
| Bellerawalk Boulevard | | | | | |
| 0101 1 | MOBILIZATION | 1 | LS | \$6,914.33 | \$ 6,914.33 |
| 0102 1 | MAINTENANCE OF TRAFFIC | 1 | LS | \$3,414.48 | \$ 3,414.48 |
| 0110 1 1 | CLEARING AND GRUBBING | 0.24 | AC | \$41,456.61 | \$ 9,949.59 |
| 0334 1 13 | SUPERPAVE ASPHALTIC CONC, TRAFFIC C (ROADWAY) | 4.7 | TN | \$250.00 | \$ 1,175.00 |
| 0327 70 1 | MILLING EXISTING ASPHALT PAVEMENT, 1" AVG DEPTH | 85 | SY | \$6.37 | \$ 541.45 |
| 0570 1 2 | PERFORMANCE TURF, SOD | 581 | SY | \$6.22 | \$ 3,613.82 |
| 0654 2 21 | MIDBLOCK CROSSWALK: RECTANGULAR RAPID FLASHING BEACON, FURNISH & INSTALL- SOLAR, COMPLETE SIGN ASSY- SINGLE DIRECTION | 2 | EA | \$13,170.38 | \$ 26,340.76 |
| 0700 1 60 | SINGLE POST SIGN, REMOVE | 2 | EA | \$87.56 | \$ 175.12 |
| 0711 11123 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 12" FOR CROSSWALK AND ROUNDABOUT | 130 | LF | \$2.75 | \$ 357.50 |
| 0711 11125 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK | 140 | LF | \$3.77 | \$ 527.80 |
| | | | | Subtotal | \$ 53,009.85 |
| | | | | Contingency (10%) | \$ 5,300.98 |
| | | | | Design Cost (10%) | \$ 5,831.08 |
| | | | | Bellerawalk Blvd Total Cost: | \$ 64,141.92 |

| Pay Item Number | Pay Item Description | Quantity | Unit | Engineer's Unit Cost | Total Engineer's Cost |
|--------------------|---|----------|------|--------------------------------|-----------------------|
| Merrit Lane | | | | | |
| 0101 1 | MOBILIZATION | 1 | LS | \$5,236.78 | \$ 5,236.78 |
| 0102 1 | MAINTENANCE OF TRAFFIC | 1 | LS | \$2,586.06 | \$ 2,586.06 |
| 0110 1 1 | CLEARING AND GRUBBING | 0.04 | AC | \$41,456.61 | \$ 1,658.26 |
| 0110 4 10 | REMOVAL OF EXISTING CONCRETE | 55 | SY | \$41.34 | \$ 2,273.70 |
| 0334 1 13 | SUPERPAVE ASPHALTIC CONC, TRAFFIC C (ROADWAY) | 24.6 | TN | \$250.00 | \$ 6,150.00 |
| 0327 70 1 | MILLING EXISTING ASPHALT PAVEMENT, 1" AVG DEPTH | 448 | SY | \$6.37 | \$ 2,853.76 |
| 0520 1 10 | CONCRETE CURB & GUTTER, TYPE F | 162 | LF | \$49.43 | \$ 8,007.66 |
| 0522 2 | CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK | 65 | SY | \$110.29 | \$ 7,168.85 |
| 0570 1 2 | PERFORMANCE TURF, SOD | 20 | SY | \$6.22 | \$ 124.40 |
| 0711 11123 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 12" FOR CROSSWALK AND ROUNDABOUT | 637 | LF | \$2.75 | \$ 1,751.75 |
| 0711 11125 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK | 620 | LF | \$3.77 | \$ 2,337.40 |
| | | | | Subtotal | \$ 40,148.62 |
| | | | | Contingency (10%) | \$ 4,014.86 |
| | | | | Design Cost (10%) | \$ 4,416.35 |
| | | | | Merrit Lane Total Cost: | \$ 48,579.84 |

| Pay Item Number | Pay Item Description | Quantity | Unit | Engineer's Unit Cost | Total Engineer's Cost |
|---------------------|---|----------|------|---------------------------------|-----------------------|
| Useppa Drive | | | | | |
| 0101 1 | MOBILIZATION | 1 | LS | \$1,985.79 | \$ 1,985.79 |
| 0102 1 | MAINTENANCE OF TRAFFIC | 1 | LS | \$735.48 | \$ 735.48 |
| 0334 1 13 | SUPERPAVE ASPHALTIC CONC, TRAFFIC C (ROADWAY) | 15.9 | TN | \$250.00 | \$ 3,975.00 |
| 0327 70 1 | MILLING EXISTING ASPHALT PAVEMENT, 1" AVG DEPTH | 290 | SY | \$6.37 | \$ 1,847.30 |
| 0711 11123 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 12" FOR CROSSWALK AND ROUNDABOUT | 513 | LF | \$2.75 | \$ 1,410.75 |
| 0711 11125 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK | 520 | LF | \$3.77 | \$ 1,960.40 |
| | | | | Subtotal | \$ 11,914.71 |
| | | | | Contingency (10%) | \$ 1,191.47 |
| | | | | Design Cost (10%) | \$ 1,310.62 |
| | | | | Useppa Drive Total Cost: | \$ 14,416.80 |

| Pay Item Number | Pay Item Description | Quantity | Unit | Engineer's Unit Cost | Total Engineer's Cost |
|----------------------|---|----------|------|----------------------------------|-----------------------|
| Assisi Avenue | | | | | |
| 0101 1 | MOBILIZATION | 1 | LS | \$12,889.67 | \$ 12,889.67 |
| 0102 1 | MAINTENANCE OF TRAFFIC | 1 | LS | \$7,956.59 | \$ 7,956.59 |
| 0110 1 1 | CLEARING AND GRUBBING | 0.34 | AC | \$41,456.61 | \$ 14,095.25 |
| 0110 4 10 | REMOVAL OF EXISTING CONCRETE | 302 | SY | \$41.34 | \$ 12,484.68 |
| 0334 1 13 | SUPERPAVE ASPHALTIC CONC, TRAFFIC C (ROADWAY) | 168.4 | TN | \$250.00 | \$ 42,100.00 |
| 0520 1 10 | CONCRETE CURB & GUTTER, TYPE F | 423 | LF | \$49.43 | \$ 20,908.89 |
| 0522 2 | CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK | 58 | SY | \$110.29 | \$ 6,396.82 |
| 0570 1 2 | PERFORMANCE TURF, SOD | 275 | SY | \$6.22 | \$ 1,710.50 |
| 0711 11123 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 12" FOR CROSSWALK AND ROUNDABOUT | 284 | LF | \$2.75 | \$ 781.00 |
| 0711 11125 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK | 260 | LF | \$3.77 | \$ 980.20 |
| | | | | Subtotal | \$ 120,303.60 |
| | | | | Contingency (10%) | \$ 12,030.36 |
| | | | | Design Cost (10%) | \$ 13,233.40 |
| | | | | Assisi Avenue Total Cost: | \$ 145,567.35 |

The Consultant has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Consultant at this time and represent only the Consultant's judgment as a design professional familiar with the construction industry. The Consultant cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

| Pay Item Number | Pay Item Description | Quantity | Unit | Engineer's Unit Cost | Total Engineer's Cost |
|--------------------------------------|---|----------|------|----------------------|-----------------------|
| Avila Avenue | | | | | |
| 0101 1 | MOBILIZATION | 1 | LS | \$12,077.80 | \$ 12,077.80 |
| 0102 1 | MAINTENANCE OF TRAFFIC | 1 | LS | \$7,455.43 | \$ 7,455.43 |
| 0110 1 1 | CLEARING AND GRUBBING | 0.29 | AC | \$41,456.61 | \$ 12,022.42 |
| 0110 4 10 | REMOVAL OF EXISTING CONCRETE | 299 | SY | \$41.34 | \$ 12,360.66 |
| 0334 1 13 | SUPERPAVE ASPHALTIC CONC, TRAFFIC C (ROADWAY) | 127.3 | TN | \$250.00 | \$ 31,825.00 |
| 0520 1 10 | CONCRETE CURB & GUTTER, TYPE F | 546 | LF | \$49.43 | \$ 26,988.78 |
| 0522 2 | CONCRETE SIDEWALK AND DRIVEWAYS, 6" THICK | 64 | SY | \$110.29 | \$ 7,058.56 |
| 0570 1 2 | PERFORMANCE TURF, SOD | 270 | SY | \$6.22 | \$ 1,679.40 |
| 0711 11123 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 12" FOR CROSSWALK AND ROUNDABOUT | 197 | LF | \$2.75 | \$ 541.75 |
| 0711 11125 | THERMOPLASTIC, STANDARD, WHITE, SOLID, 24" FOR STOP LINE AND CROSSWALK | 190 | LF | \$3.77 | \$ 716.30 |
| Subtotal | | | | | \$ 112,726.09 |
| Contingency (10%) | | | | | \$ 11,272.61 |
| Design Cost (10%) | | | | | \$ 12,399.87 |
| Avila Avenue Total Cost: | | | | | \$ 136,398.57 |
| Approximate Grand Total Cost: | | | | | \$ 409,100.00 |

The Consultant has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Consultant at this time and represent only the Consultant's judgment as a design professional familiar with the construction industry. The Consultant cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 19, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Urban Area Map Update.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors authorize the District Engineer to prepare an updated Urban Area Map.

GENERAL INFORMATION

As required by Chapter 2004-461, Laws of Florida, as amended, (the "Act"), the Ave Maria Stewardship Community District (the "District") has approved maps of the District describing and locating the urban areas within the District (the "Map"). The Map is used to determine the number of Supervisors to be qualified electors elected by the qualified electors and is to be updated every five years, or sooner at the discretion of the Board. The last update was approved by the Board on December 7, 2021, per Resolution 2021-28. The proposed update to the map will align with the 2026 general election requirements. Additionally, at the June 3, 2025 Regular Board Meeting, in conjunction with the request for boundary amendment item, staff explained that the Urban map would be updated in 2026 in connection with the anticipated changes to the District Boundary.

Note that this is the initial step of the process to ensure visibility and transparency on process/timeline to update the Map. The first step in this multi-meeting process requests the Board authorization for the District Engineer to move forward with the Map update. The District Engineer prepared a scope and fee proposal, attached to this memorandum, outlining the services required to complete the updates to the Urban Area Map.

As mentioned above, this is a multi-meeting process and the next steps include:

- Meeting 2 [February 3, 2026]
 - District Engineer presents maps (based on anticipated change to District boundary)
 - If Board preliminarily accepts maps, a 30-day contest period begins for District Land Owners or electors
 - Since next scheduled Board meeting (March 3, 2026) is less than 30 days after February 3, 2026, the maps will be presented for final acceptance at the April 7, 2026 meeting

- Meeting 3 [April 7, 2026]
 - Consideration for final adoption by the Board (assuming Special Act has been approved by Legislature and signed by Governor)
- Additional 30-Day Appeal Period in Accordance with the Florida Administrative Procedure Act (APA)
- Meeting 4 [May 5, 2026]
 - Announce general election and authorize notice election qualifying period with supervisor of elections [and landowner election if only 2 seats for general election and 1 landowner seat for election]

PROCUREMENT REVIEW

Not applicable.

DISTRICT ENGINEER REVIEW

District Engineer provided proposal enclosed.

DISTRICT LEGAL COUNSEL REVIEW

District Legal Counsel reviewed proposal and multi-step process for Map update.

FUNDING REVIEW

Funding is included in FY 2025-2026 Budget for District Engineer.

Attachment



Engineering Firm Number: 31200
Surveying Firm license: LB8569

Collier County:

7400 Trail Boulevard, Suite 200
Naples, FL 34108
P: 239.597.3111
F: 239.566.2203

December 2, 2025

Via email to aholland@sdsinc.org

Allyson Holland
District Manager
Ave Maria Special District Services
2501A Burns Road
Palm Beach Gardens, FL 33410

**Re: Ave Maria Stewardship Community District
Urban Area Mapping Update – Board Member Elections
ABB PN 05-0113**

Dear Ms. Holland:

At your request, LJA Engineering, Inc., is pleased to submit this proposal to render professional engineering consulting services on the above-referenced project.

LJA Engineering, Inc., hereinafter referred to as LJA, proposes to provide Ave Maria Stewardship Community District the professional services outlined in **Exhibit “A”** attached.

We hope that this proposal satisfactorily responds to your request.

Sincerely,

LJA ENGINEERING, INC.

Edward F. Tryka, III, P.E.
Vice President, Transportation

EFT

Attachments

EXHIBIT A
Estimated Project Budget
Ave Maria Stewardship Community District
Urban Area Mapping Update – Board Member Elections
ABB PN #05-0113
December 2, 2025

PROJECT NARRATIVE:

Update the Urban Area Map and Tabulation that was created adopted by the Board of Supervisors on 12-07-2021 per Resolution 2021-28. The purpose of this exercise is to calculate the percentage of urban area to determine the number of elected board members. The last urban area percentage was 26.25% which resulted in two elected board members. The next threshold to add a third elected board member is greater than 50%.

SCOPE OF SERVICES

\$ 9,540 T/M

- Confirm population density requirements.
- Review new construction areas since last Urban Area Map.
- Determine population density for each area to see if it meets criteria for inclusion in the updated Urban Area Map.
- Calculate updated percentages.
- Add new areas and revise Urban Area Map.
- Coordinate as necessary with Collier County and address comments.

TOTAL

\$9,540 T/M

T/M = Time and Materials. Billings will be based on actual time and materials expended in accordance with our rate schedule. Budgets given are an approximate amount and will not exceed without prior authorization. Billings will be made on a percent of budget basis.

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 18, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Receive update on proposed roundabout at Camp Keais Road and Pope John Paul II Boulevard.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors receive an update on proposed roundabout at Camp Keais Road and Pope John Paul II Boulevard.

GENERAL INFORMATION

Ave Maria Development (AMD) will provide an update on the proposed roundabout to be constructed at Camp Keais Road and Pope John Paul II Boulevard. A schematic design of the proposed roundabout is attached hereto. AMD plans to regularly share updates on progress with the Ave Maria Stewardship Community District and welcomes feedback.

PROCUREMENT REVIEW

Not applicable.

DISTRICT ENGINEER REVIEW

Not applicable.

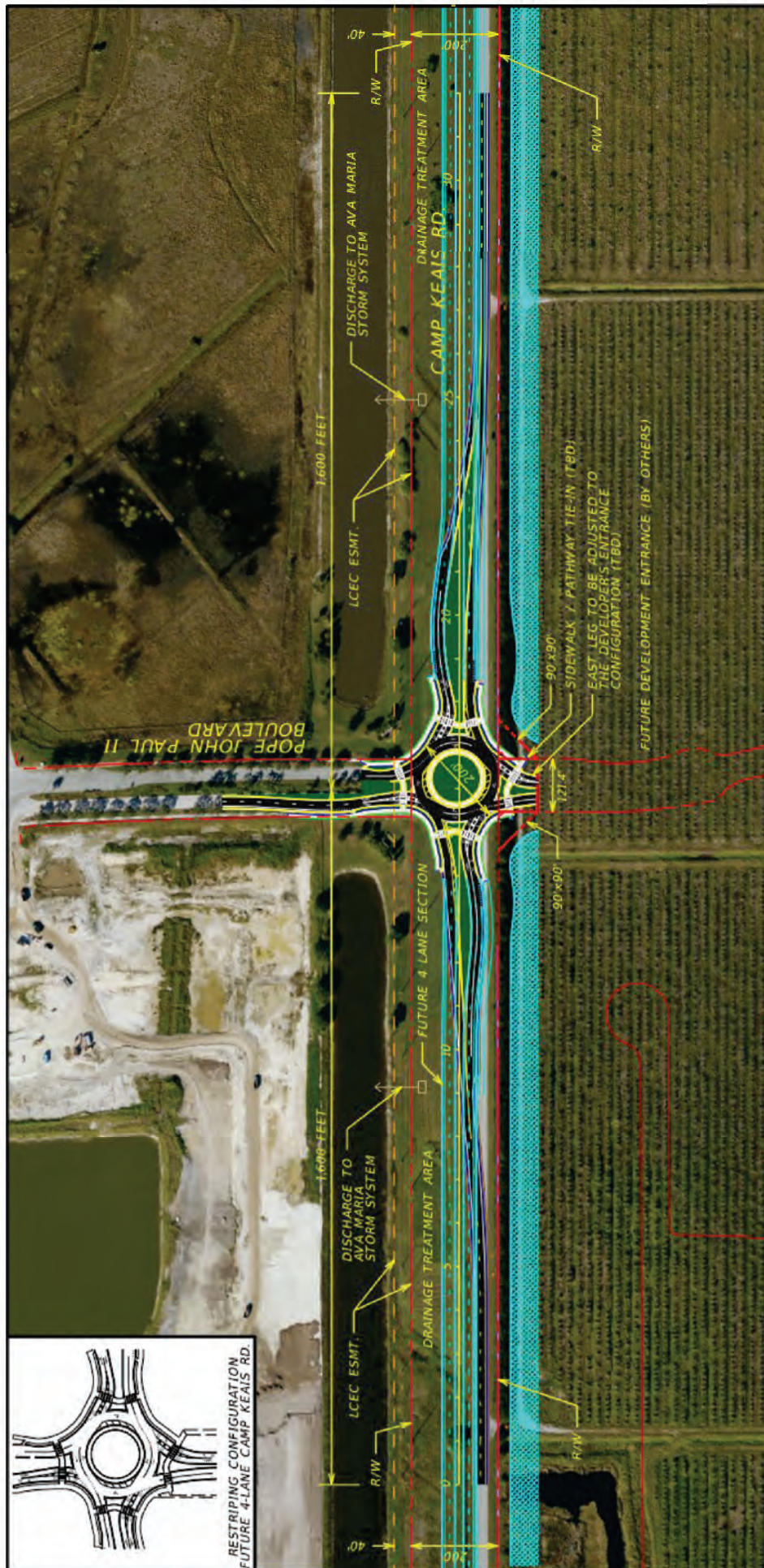
DISTRICT LEGAL COUNSEL REVIEW

Not applicable.

FUNDING REVIEW

Not applicable.

Attachment



Camp Keais Intersection Improvements:
Pope John Paul II Blvd.

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 21, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Change Order #1 to Douglas N. Higgins, Inc. for improvements in conjunction with the Anthem Parkway Phase 5B project.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors approve Change Order #1 to Douglas N. Higgins, Inc. for improvements in conjunction with the Anthem Parkway Phase 5B project.

GENERAL INFORMATION

In June 2025, the Ave Maria Stewardship Community District (District) contracted Douglas N. Higgins, Inc. (Higgins) for construction services in conjunction with the Anthem Parkway Phase 5B for drainage and utility construction for an original contract price of \$3,216,563.00.

Change Order #1 includes the installation of dry utility conduit for LCEC, Lumen, Comcast, Well Data, Irrigation, and Owner (District) conduit throughout the construction corridor. The design for the dry utility conduit was not complete at the time the project was initially bid. Higgins provided pricing in the amount of \$768,523 for the conduit installation once the design was complete and is already mobilized and onsite ready for the installation.

Should the Board approve Change Order No. 1, this would bring contract price for Higgins to \$3,985,086.00

DISTRICT ENGINEER REVIEW

District Engineer has reviewed and approved Change Order #1.

DISTRICT LEGAL COUNSEL REVIEW

District Legal Counsel has reviewed and approved Change Order #1.

FUNDING REVIEW

Funding source is 2025 bonds.

Change Order No. 1

Date of Issuance: November 6, 2025

Effective Date: November 6, 2025

Project: Anthem Parkway Phase
5B

Owner: Ave Maria Stewardship
Community District

Owner's Contract No.:

Contract: Drainage and Utilities Construction

Date of Contract: 6/10/2025

Contractor: Douglas N. Higgins, Inc.

Engineer's Project No.: P-AMD-037

The Contract Documents are modified as follows upon execution of this Change Order:

Description:

Add for Dry Utility Conduit installation for LCEC, Lumen, Comcast, Well Data, Irrigation, and Owner.

Dry Utility Add: 768,523.00

Attachments (list documents supporting change): Douglas N. Higgins, Inc. CO dated 11/1/2025

CHANGE IN CONTRACT PRICE:

Original Contract Price:

\$3,216,563.00

[Increase] [Decrease] from previously
approved Change Orders No. NA to No.

\$ -0-

Contract Price prior to this Change Order:

\$3,216,563.00

Add of this Change Order:

\$768,523.00

Contract Price incorporating this Change Order:

\$3,985,086.00

CHANGE IN CONTRACT TIMES:

Original Contract Times:

Calendar days

Substantial completion (days or date): 180

Ready for final payment (days or date): 60

~~[Increase]~~ ~~[Decrease]~~ from previously approved Change Orders
No. NA to No. :

Substantial completion (days): NA

Ready for final payment (days): NA

Contract Times prior to this Change Order:

Substantial completion (days or date): 180

Ready for final payment (days or date): 60

~~[Increase]~~ ~~[Decrease]~~ of this Change Order:

Substantial completion (days or date): No change

Ready for final payment (days or date): No change

Contract Times with all approved Change Orders:

Substantial completion (days or date): 180

Ready for final payment (days or date): 60

RECOMMENDED:

By: 

Engineer (Authorized Signature)

Date: 11/20/2025

Approved by Funding Agency (if applicable):

ACCEPTED:

By: _____

Owner (Authorized Signature)

Date: _____

ACCEPTED:

By: _____

Contractor (Authorized Signature)

Date: _____

Date: _____

AVE MARIA - ANTHEM PARKWAY 5B DRY CONDUIT 11-1-25
DOUGLAS N. HIGGINS, INC.

| item | Description | QUANTITY | UNIT | UNIT PRICE | TOTAL PRICE |
|------|--|----------|------|--------------|---------------|
| | | | | | \$ - |
| 1 | GENERAL CONDITIONS | 1 | LS | \$ 40,000.00 | \$ 40,000.00 |
| | | | | | \$ - |
| | <u>ROAD CROSSINGS</u> | | | | |
| 2 | IRRIGATION CONDUIT (1) 2" SCH40 PVC | 275 | LF | \$ 13.00 | \$ 3,575.00 |
| 3 | IRRIGATION CONDUIT (2) 2" SCH40 PVC | 811 | LF | \$ 17.00 | \$ 13,787.00 |
| 4 | IRRIGATION CONDUIT (3) 2" SCH40 PVC | 1068 | LF | \$ 24.00 | \$ 25,632.00 |
| 5 | IRRIGATION CONDUIT (1) 3" SCH40 PVC | 231 | LF | \$ 17.00 | \$ 3,927.00 |
| 6 | IRRIGATION CONDUIT (2) 3" SCH40 PVC | 450 | LF | \$ 25.00 | \$ 11,250.00 |
| 7 | IRRIGATION CONDUIT (1) 4" SCH40 PVC | 44 | LF | \$ 18.00 | \$ 792.00 |
| 8 | IRRIGATION CONDUIT (1) 6" SCH40 PVC | 926 | LF | \$ 27.00 | \$ 25,002.00 |
| | | | | | \$ - |
| 9 | OWNER CONDUIT (1) 2" SCH40 PVC | 0 | LF | \$ 16.00 | \$ - |
| 10 | OWNER CONDUIT (2) 2" SCH40 PVC | 1106 | LF | \$ 18.00 | \$ 19,908.00 |
| | | | | | \$ - |
| 11 | COMCAST (2) 2" SCH40 PVC | 304 | LF | \$ 16.00 | \$ 4,864.00 |
| 12 | COMCAST (1) 6" SCH40 PVC | 314 | LF | \$ 27.00 | \$ 8,478.00 |
| | | | | | \$ - |
| 12 | LCEC (1) 2" SCH40 PVC | 2128 | LF | \$ 15.00 | \$ 31,920.00 |
| 13 | LCEC (3) 2" SCH40 PVC | 326 | LF | \$ 22.00 | \$ 7,172.00 |
| 14 | LCEC (1) 4" SCH40 PVC | 0 | LF | \$ 18.00 | \$ - |
| 15 | LCEC (3) 4" SCH40 PVC | 796 | LF | \$ 44.00 | \$ 35,024.00 |
| | | | | | |
| 16 | LUMEN (1) 6" SCH40 PVC | 214 | LF | \$ 27.00 | \$ 5,778.00 |
| | <u>COMCAST</u> | | | | |
| 13 | DOUBLE 2" HDPE (MATERIAL SUPPLIED BY COMCAST) | 2500 | LF | \$ 22.00 | \$ 55,000.00 |
| 14 | COMCAST VAULT LOCATTION (SWEEPS AND STUB-UPS ONLY) | 5 | EA | \$ 900.00 | \$ 4,500.00 |
| | <u>LUMEN</u> | | | | |
| 16 | 4" HDPE CONDUIT (MATERIAL SUPPLIED BY LUMEN) | 2506 | LF | \$ 24.00 | \$ 60,144.00 |
| 17 | HANDHOLE LOCATION (SWEEPS AND STUB-UPS ONLY) | 5 | EA | \$ 900.00 | \$ 4,500.00 |
| | <u>WELL DTATA CONDUIT</u> | | | | |
| 19 | ONE 2" SCH40 PVC | 500 | LF | \$ 14.00 | \$ 7,000.00 |
| 20 | WELL DATA PULL BOX LOCATION (SWEEPS AND STUB-UPS ONLY) | 2 | EA | \$ 800.00 | \$ 1,600.00 |
| | <u>LCEC DRAWINGS</u> | | | | |
| 21 | CONDUIT (3) 2" SCH40 PVC | 910 | LF | \$ 22.00 | \$ 20,020.00 |
| 22 | CONDUIT (1) 2" SCH40 PVC | 3550 | LF | \$ 15.00 | \$ 53,250.00 |
| 23 | CONDUIT CIRCUIT (3) 4" SCH40 PVC | 6700 | LF | \$ 44.00 | \$ 294,800.00 |
| 24 | HANDHOLE LOCATION (SWEEPS AND STUB-UPS ONLY) | 47 | EA | \$ 600.00 | \$ 28,200.00 |
| 25 | PULL BOX LOCATION (SWEEPS AND STUB-UPS ONLY) | 3 | EA | \$ 800.00 | \$ 2,400.00 |
| | | | | | \$ - |
| 24 | CONTINGENCY | 1 | LS | \$ - | \$ - |
| | | | | | \$ 768,523.00 |

To: Board of Supervisors

From: Allyson Holland, P.E., District Manager

Date: November 21, 2025

Board Meeting Date: December 2, 2025

SUBJECT

Change Order #8 to Earth Tech Enterprises, Inc. for improvements in conjunction with the Anthem Parkway Phase 5A project.

STAFF RECOMMENDATION

Staff recommends the Board of Supervisors approve Change Order #7 for improvements in conjunction with the Anthem Parkway Phase 5A project.

GENERAL INFORMATION

In November 2023, the Ave Maria Stewardship Community District (District) contracted with Earth Tech Enterprises, Inc. (Earth Tech) for construction services in conjunction with the Anthem Parkway Phase 5A earthwork, utility, roadway project for an original contract price of \$7,360,163.74. Seven (7) change orders were previously approved by the Board of Supervisors, bringing the current contract price to \$11,416,807.10.

Change order #8 for Anthem Parkway Phase 5A / Irrigation Pump Station (IPS) #4 includes the following items:

Related to IPS #4

- Revisions to excavation and liner backfill quantities based on the plan revision from 6' of ballast to 2' of ballast (per AMUC direction)
- Addition of the IPS #4 building slab and electrical service to support the irrigation pump station
- Revision of the Irrigation Recharge Well line items to reflect the final bids vs. the original allowances
- Revision of the construction entrance / access road to accommodate sufficient access
- Update of the related bond amount
- Total additional cost: \$108,975.35

Related to Anthel Parkway Phase 5A

- Revisions to signage to accommodate square posts and additional signage required
- Required asphalt repairs due to damage by others, and required wedges on 1st lift of asphalt installed
- Additional sod for disturbed area coverage
- Total additional cost: \$15,310.00

District staff and District Engineer have reviewed and support the items included in this change order to ensure the successful completion of this project.

Thus, the total amount of Change Order #8 is \$124,285.35, which will bring the total contract price to \$11,541,092.45. All pricing is consistent with the current bid.

DISTRICT ENGINEER REVIEW

District Engineer has reviewed and approved change order #8.

DISTRICT LEGAL COUNSEL REVIEW

District Legal Counsel has reviewed and approved change order #8 for legal form and sufficiency.

FUNDING REVIEW

Funding source is 2025 bonds.

Attachment

Date of Issuance: November 21, 2025 Effective Date: November 21, 2025

| | | |
|--|---|-----------------------------------|
| Project: Anthem Parkway Phase 5A | Owner: Ave Maria Stewardship Community District | Owner's Contract No.: |
| Contract: Earthwork, Paving, Underground Utilities Construction at Anthem Parkway Phase 5A | | Date of Contract: 11/17/2023 |
| Contractor: Earth Tech Enterprises, Inc. | | Engineer's Project No.: P-AMD-037 |

The Contract Documents are modified as follows upon execution of this Change Order:

Description: Revise ballast coverage to 2' per AMUC; revise construction entrance; add building slab and electrical service for irrigation pump station; update recharge well items per final plans; add sod, signage changes, and asphalt patches/wedges to 5A road.

IPS4 Add: \$108,975.35

Phase 5A Paving Add: \$15,310.00

= Total Increase: \$124,285.35

Attachments (documents supporting change): Earth Tech Proposed CO dated 11/19/25 and respective subcontractor bids.

CHANGE IN CONTRACT PRICE:

Original Contract Price:

\$7,360,163.74

[Increase] ~~[Decrease]~~ from previously approved Change Orders No. NA to No. 7:

\$4,056,643.36

Contract Price prior to this Change Order:

\$11,416,807.10

Increase of this Change Order:

\$124,285.35

Contract Price incorporating this Change Order:

\$11,541,092.45

CHANGE IN CONTRACT TIMES:

Original Contract Times: Calendar days

Substantial completion (days or date): 365

Ready for final payment (days or date): 60

~~[Increase]~~ ~~[Decrease]~~ from previously approved Change Orders No. NA to No. :

Substantial completion (days): NA

Ready for final payment (days): NA

Contract Times prior to this Change Order:

Substantial completion (days or date): 365

Ready for final payment (days or date): 60

~~[Increase]~~ ~~[Decrease]~~ of this Change Order:

Substantial completion (days or date): No change


Ready for final payment (days or date): No change

Contract Times with all approved Change Orders:

Substantial completion (days or date): 365

Ready for final payment (days or date): 60

RECOMMENDED:

By: 
Engineer (Authorized Signature)

Date: 11/21/2025

ACCEPTED:

By: _____
Owner (Authorized Signature)

Date: _____

ACCEPTED:

By: _____
Contractor (Authorized Signature)

Date: _____

Approved by Funding Agency (if applicable):

Date: _____

Ave Maria Irrigation Pond and IPS4 dated 11-19-25



Earth Tech Enterprises, Inc.

6180 Federal Court
Fort Myers FL 33905

Contact: Earth Tech Enterprises Inc.-Estimating Department
Phone: 239-738-7900
Email: tom@earthtechenterprises.com

Quote To: Peninsula Engineering

Job Name: Ave Maria Irrigation Pond and Master Li

Date of Plans: File Date Jan 2025

Phone:

Revision Date: Rev 4

Fax:

Re: Dan Hartley
Est 08-25-016 Backed up as TPPP

THIS QUOTE SUPERSEDES QUOTE CONTAINED IN C.O. #6
ITEMS HIGHLIGHTED IN YELLOW ARE RELATED TO 5A PAVING

| ITEM | DESCRIPTION | QUANTITY | UNIT | UNIT PRICE | AMOUNT |
|------|--|-----------|------|------------|------------|
| 100 | Liner Contractor Deposit | 1.00 | LS | 134,587.00 | 134,587.00 |
| 200 | Erosion Control (Silt Fence, Inlet Protection) | 1.00 | LS | 8,000.00 | 8,000.00 |
| 300 | Land Prep and Final Grading | 1.00 | LS | 13,300.00 | 13,300.00 |
| 400 | Excavation | 69,706.00 | CY | 3.40 | 237,000.40 |
| 410 | Dewatering | 1.00 | LS | 81,520.00 | 81,520.00 |
| 420 | Underdrain System | 1.00 | LS | 376,400.00 | 376,400.00 |
| 430 | Install 60Mil Lake Liner | 1.00 | LS | 385,030.00 | 385,030.00 |
| 440 | Backfill Liner 2' Cover | 19,802.00 | CY | 2.70 | 53,465.40 |
| 460 | Anchor Trench | 1,620.00 | LF | 5.80 | 9,396.00 |
| 470 | Liner Testing | 1.00 | LS | 2,650.00 | 2,650.00 |
| 500 | Embankment | 33,014.00 | CY | 1.60 | 52,822.40 |
| 600 | Berm/Swale Shaping | 1.00 | LS | 11,860.00 | 11,860.00 |
| 700 | 6" Concrete(Fiber Reinforced) Drive | 170.00 | SY | 73.50 | 12,495.00 |
| 710 | Optional Additional Concrete Access Drive | 34.00 | SY | 73.50 | 2,499.00 |
| 720 | 12" Stab Sub under Additional access drive | 34.00 | SY | 4.00 | 136.00 |
| 750 | Fabric Formed Concrete Splash Pad, Trenched | 1,100.00 | SF | 33.15 | 36,465.00 |
| 800 | 12" Stabilized Subgrade under drive | 170.00 | SY | 4.00 | 680.00 |
| 900 | Bahia Sod | 19,720.00 | SY | 3.40 | 67,048.00 |
| 1000 | Custom Irrigation Pump Station | 1.00 | LS | 960,014.00 | 960,014.00 |
| 1050 | IPS-4 Building Pad and Electrical Service | 1.00 | LS | 239,860.00 | 239,860.00 |
| 1200 | Drainage | 1.00 | LS | 35,390.00 | 35,390.00 |
| 1300 | Irrigation Including Wet Well | 1.00 | LS | 182,800.00 | 182,800.00 |
| 1325 | Recharge Main | 1.00 | LS | 48,795.00 | 48,795.00 |
| 1330 | Ave Maria 1W-18 15 HP - See Notes | 1.00 | LS | 103,549.00 | 103,549.00 |
| 1340 | Ave Maria- 1W-19 40HP -See Notes | 1.00 | LS | 108,995.00 | 108,995.00 |
| 1349 | Ave Maria 1W-20 40HP- See Notes | 1.00 | LS | 107,543.00 | 107,543.00 |
| 1490 | Irrigation Well Concrete pads 3EA- 12'x3', 4" thic | 108.00 | SF | 7.25 | 783.00 |
| 1550 | Wet Well Concrete Pad Assume 6" Fiber Rein | 105.00 | SF | 8.25 | 866.25 |
| 1552 | Transformer Pad 6'7"x7'1"x6" Fiber Reinforced | 1.00 | LS | 4,200.00 | 4,200.00 |

| ITEM | DESCRIPTION | QUANTITY | UNIT | UNIT PRICE | AMOUNT |
|--------------------|---|----------|------|------------|-----------------------|
| 1570 | Bond Earthwork/Liner and associated | 1.00 | LS | 50,500.00 | 50,500.00 |
| 1600 | Signage-2" Square Post Change | 64.00 | EA | 85.00 | 5,440.00 |
| 1610 | 2" Flat Bar to Square Posts change (Prev. Install | 8.00 | EA | 175.00 | 1,400.00 |
| 1620 | 18"x18" Stop Signs @Golf Cart Crossings Installed | 10.00 | EA | 225.00 | 2,250.00 |
| 1630 | Misc. Asphalt Patching (Pathways, Wedges) | 1.00 | LS | 3,500.00 | 3,500.00 |
| 1635 | Bahia Sod @ Green Space near School Intersection | 800.00 | SY | 3.40 | 2,720.00 |
| 1640 | Access Road and Pad - See Note | 1.00 | LS | 14,075.00 | 14,075.00 |
| GRAND TOTAL | | | | | \$3,358,034.45 |

NOTES:

SCOPE OF WORK CLARIFICATIONS:

• • Irrigation Wells 18-19-20 Scope • •

See attached pages for details and scope of work.

The proposal is for NON-VFD Control Panels and associated. Superseeds Proposals attached for these items of work.

• Access Road and Pad to include:

15' wide x 1000LF x 6" Stab Access Road w/ Crushed Concrete

• Pad 75'x75'x 6" w/ Crushed Concrete

• Loading Crushed Concrete/Trucking/Spread&Compacting

• Restoring Pulte Lake area

Bahia Sod at Pulte Lake Slope 800LFx 20'Wide-Allowance

after regrading Pulte Lake Bank

• Irrigation Pump Station- Proposal from PSI Metro dated 02-01-2025 to Jason Vogel Ave Maria.

Pump Station Clarifications:

7400GPM @ 90PSI

480Y/277 Volt/3PHASE/60HZ

Wetwell depth- 20'

Model: VTV-7C-75X8/5ST-480-3-7400-90

• UTILITIES SCOPE •

DRAINAGE:

• (2) Type "D"

• (56 LF) 24" RCP

• (1) Bonsal, Brick, Fabric

IRRIGATION:

• 60 LF 20" C-905 DR-18

• 1 EA 20" 90 Bend MJ

• 1 EA 20" Sleeve MJ

• 3 EA 20" Bell restraints

• 1 EA 20" x 2" Cap MJ

• 160 LF 36" RCP

• 1 EA Wet Well

Recharge Main:

- 60 LF 14" DIP
- 2 EA 14" Bell Restraints
- 2 EA 14" X 10" Reducer MJ
- 120 LF 10" C-900 DR-18
- 2 EA 10" Sleeve MJ
- 40 LF 10" DIP
- 1 EA 10" 45 BEND MJ
- 1 EA 10" 22.5 BEND MJ
- 5 EA 10" Bell Restraint
- 1 EA 10" X 6" Reducer
- 60 LF 6" C-900 DR-18
- 1 EA 6" Sleeve MJ
- 1 EA 6" 45 Bend MJ
- 2 EA 6" 22.5 Bend MJ
- 1 EA 6" Bell Restraint
- 3 EA 3' x 3' x 3' Concrete anchor

Base Bid Proposal Specifically Includes the following items:

- Contract shall contain a provision allowing for cost increase / decrease based upon changes in agreed benchmark pricing for specifically identified commodities subject to price volatility. For this project / scope / proposal /, this applies to DIESEL FUEL, AGGREGATE MATERIALS. Base bid pricing was calculated utilizing \$3.00 / gal for off-road fuel, and \$4.00 / gal for on road fuel.
- Existing Material and excavated material is considered an LBR 40 material for the scope of this quote. No mixing of stabilization material is included unless specifically included.
- SCOPE OF WORK CLARIFICATIONS
- Compaction of structural fill to specifications listed in plans.
- Clean up of street mud and or construction debris caused by ETE Inc.
- Dust control for our scope of work from an onsite water source furnished by Owner or GC at no cost to ETE Inc.
- ETE Inc. has assumed that existing grades as shown on the drawings reflect current conditions. We reserve the right to modify our proposal amount based upon receipt of updated and / or revised existing topo information. Quantities may need to be revised post clearing prior to excavation and filling.
- Fine grading of the subgrade, parking lot subgrade and / or all aggregate base areas shall be completed ONE TIME ONLY, PRIOR TO OTHER TRADES, including landscape and irrigation scopes working on top of our previously completed work. Allowing others to work on top of our work shall be deemed acceptance by GC / Owner and any required remediation shall be completed on a time and material basis.
- Backfill of curbs, sidewalks, and pavement areas as required.
- Only items specifically listed are included in this proposal.

Base Bid Proposal Specifically Excludes the following items:

- Any applicable fees, permits, licenses, liquidated or consequential damages, warranty bonds, license bonds, testing, permitting, and layout
- Sunday work, holiday work, night work
- Surveying/ Construction Stakeout/As-builts
- As-built drawings upon completion other than normal red-line or other in-house prepared as-built information,
- Relocation, removal, or disconnection of existing utilities, including drain-tiles and irrigation lines.
- Undercuts of unsuitable material; filling of undercut areas; excavation of peat or muck.
- Remediation of clay, aggregate base or subgrade prior to pouring of concrete and/or paving to repair damages or rutting caused by other contractors, weather conditions, or factors beyond the control of ETE Inc.
- Rock excavation including drilling, blasting, hauling, segregating, not included outside of ETE Inc. direct scope.
- Testing, excavation or hauling of hazardous material, hazardous waste, special waste, or contaminated material of any type.
- Demolition of existing structures, fences, foundation, and other existing obstructions whether exposed or not except as specifically included in this proposal.

- Installation and/or removal of concrete wash pit, except as specifically included.
- Traffic control and protection.
- Footer excavation or concrete
- Pavers or landscaping.

**METRO PUMPING SYSTEMS INC**

922 SE 14TH PLACE
CAPE CORAL, FL 33990
PH: 239-573-9700
FX: 239-573-6700

CUSTOM PUMP SYSTEM QUOTATION

| | | | |
|-----------------------|--|-----------------------|--|
| PROJECT NAME: | AVE MARIA | DATE: | 10/29/25 |
| SITE LOCATION: | AVE MARIA, FL | QUOTED BY: | Kim Seidl |
| INSTALLATION: | INSIDE - WEATHER RESISTANT BUILDING | | |
| CUSTOMER : | AVE MARIA #19 | SALES REP: | Milo Seidl |
| CONTACT: | TOM PETROZZI | PHONE: | 239-229-3737 |
| ADDRESS: | 5325 AVE MARIA BLVD | EMAIL: | milo@metropsi.com |
| CITY / STATE: | AVE MARIA, FL 34142 | | |
| PHONE: | 239-738-7900 | | |
| EMAIL: | tom@earthtechenterprises.com | | |
| PERFORMANCE: | 1425GPM @ 25PSI | WETWELL DEPTH: | 70' |
| INPUT POWER: | 480Y/277 Volt/3PHASE/60HZ | MODEL NUMBER: | CPV-ST-7C-(40)/-480-3-1425-25 |

| CATEGORY | DESCRIPTION | QTY |
|------------------------------|---|-----|
| APPROVALS AND CERTIFICATIONS | • UL Listed - Industrial Control Panel | 1 |
| DISCONNECTS | • Station Disconnect Switch - 100A Fused | 1 |
| VFDS | • Variable Frequency Drive, 40HP, 380-480V/3ph | 1 |
| X/L CONTACTOR | • VFD Contactor - 460-575V/3Ph - 40HP | 1 |
| POWER MONITOR/SAFETY | • Power - Phase Monitor Protection | 1 |
| CONTROL SYSTEMS | • Type 7C - M262 PLC | 1 |
| TOUCHSCREEN DISPLAYS | • 10" ComFile HMI EDGE CPU | 1 |
| CONTROL SWITCHES | • Lighted HOA Switch | 1 |
| SURGE PROTECTION | • Premium Surge/Lightning Protection | 1 |
| OPTICAL ISOLATORS | • Flow Signal Opto Coupler - For Sharing Signal | 1 |
| OPTICAL ISOLATORS | • Flow Sensor Opto Isolator | 1 |
| REMOTE START OPTIONS | • Remote Disable Relay - 24VAC/DC | 1 |
| COMMUNICATION AND RTUS | • WaterVision Cloud - AT&T - w/3YR Subscription | 1 |
| COMMUNICATION ACCESSORIES | • Choice Card - Temperature Input | 2 |
| FERTIGATION ACCESSORIES | • Fertigation Run Relay | 1 |
| FERTIGATION ACCESSORIES | • Chemical Treatment Relay | 1 |
| ELECTRICAL ENCLOSURE | • Electrical Enclosure | 1 |
| ELECTRICAL ACCESSORIES | • Control Panel Leg Kit | 1 |
| ELECTRICAL ENCLOSURE COOLING | • Heat Exchanger - Large - (5-12K Btu) | 1 |

| CATEGORY | DESCRIPTION - Continued | QTY |
|---------------------|--|-----|
| DOCUMENTATION | • Operation & Maint Manual (English) - Electronic Copy | 2 |
| PRESSURE TRANSDUCER | • Pressure Transducer Assembly - Tee, and 4" Gauge | 1 |
| LEVEL CONTROLS | • Wetwell Level Control w/1 Pond Fill | 1 |
| FLOW METER | • Growsmart IM3000 Series Magnetic Flowmeter - 8" | 1 |
| VALVES | • 8" BFV | 1 |
| PUMPS/MOTORS | • 40hp Submersible Pump, motor, discharge head and drop pipe | 1 |
| PIPE | • 8" Certa-lok drop pipe 70' setting | 1 |
| DOGLEG | • Discharge dog leg | 1 |
| PIPING | • Supply discharge piping | 1 |

STANDARD LABOR AND MATERIALS (Included in total station price)

| | | |
|--------------------|--------------|----------|
| 999-0000000 | LABOR | 1 |
|--------------------|--------------|----------|

- Provide duties of the sale representative, meeting with Superintendents, meeting with board members, discussing all options to be included for recharge well with customer, measure-up for engineered drawings, approving engineered drawings
- Co-ordinate with other subcontractors involved in the project and schedule work as needed.
- Provide crane service for complete rigging and labor to offload Recharge System at remote storage yard as needed to ensure station availability on day of installation.
- Inspection and documentation of condition and components prior to delivery to site for install.
- Complete U.L. listed Recharge Station as detailed above to meet or exceed specifications.
- Complete rigging and transportation of equipment from yard to new site on the day of installation.
- Complete rigging of new Recharge System on to existing well.
- Set (1) 40HP Pump and Motor
- Connect and wire-up Pump and Motor to control panel and test rotation
- Provide factory certified start-up services to ensure proper operation and calibration of new pump system.
- Complete end user operation and maintenance training per factory guidelines.

PUMP STATION PRICE (INCLUDES LABOR/STANDARD EQUIPMENT FEATURES)

SELECTED OPTIONS*

TOTAL PUMP STATION PRICE WITH SELECTED OPTIONS

| | |
|---|----------|
| DOMESTIC US FREIGHT FROM FACTORY TO JOB SITE: FOB FACTORY | INCLUDED |
| OFF LOAD & SETUP SUPERVISION: | INCLUDED |
| CRANE TO OFF-LOAD AND SET PUMP STATION: | INCLUDED |
| START UP: | INCLUDED |
| INSPECTION FEES: | INCLUDED |
| 2 YEAR WARRANTY - (INCLUDING PARTS, LABOR AND CRANE): | INCLUDED |
| TAX | INCLUDED |

Shipment: Estimated 14-18 weeks after receipt of signed contract and drawing approval. A firm delivery date will be established and transmitted within 5 days of receipt of all final details and documents.

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|---|---|----------|
| 005-0000002 | UL LISTED - INDUSTRIAL CONTROL PANEL | 1 |
| The station ELECTRICAL CONTROL PANEL shall be UL listed and meet or exceed UL508A specifications for safety of industrial control panels. Panel shall be assembled and tested in a UL508A certified panel shop. | | |
| 500-0000010 | STATION DISCONNECT SWITCH - 100A | 1 |
| A 3-pole 100 amp maximum FUSED UL Listed main disconnect switch shall be provided. The disconnect switch shall include an operating handle mounted in the main electrical panel door that shall open all ungrounded conductors of the service entrance to the panel. The disconnect switch shall be mechanically interlocked to prevent access while the operating handle is in the ON position. The station disconnect switch shall be correctly sized for the maximum station load and shall meet all applicable NEC and UL508A requirements. | | |
| 520-0000026 | VARIABLE FREQUENCY DRIVE, 40HP, 380-480V/3PH | 1 |
| A high efficiency industrial grade 40HP variable frequency drive shall be provided. The VFD shall be specifically designed for water pumping applications and include a graphical control interface keypad. All internal printed circuit boards shall be conformal coated for long service life. | | |
| 600-0000003 | POWER - PHASE MONITOR PROTECTION | 1 |
| An advanced microprocessor based Power Phase Monitoring system shall be provided to protect the pump system from equipment failure due to power faults occurring on the incoming electrical service to the pump station. The monitor shall actively monitor for phase loss, phase reversal, phase unbalance, under voltage and overvoltage conditions. In the event that these one or more of these conditions occur, the Phase Monitor shall signal the PLC logic controller to shut down the pump system preventing damage to pump system components. The phase monitor fault limits and time to trip shall be adjustable. A status LED shall indicate the fault type causing the shutdown event. | | |
| 600-0000004 | TYPE 7C - M262 PLC | 1 |
| The electrical control system shall be an Industrial grade PLC with custom programming written specifically for this project. Control logic shall be based on redundant design and interlocking of control devices for maximum safety and proper sequence of operation. The PLC controller shall have diagnostic LEDs for monitoring status of discrete inputs and outputs as well as a general PLC error feedback. The PLC shall contain RS485 and Ethernet communication ports for monitoring and programming purposes. The PLC will have a high speed counter clock and calendar function with year month day hour minute and day of the week. | | |
| 601-0000025 | WET WELL LEVEL CONTROL W/ 1 POND FILL | 1 |
| Logic Only - Wetwell Level Control w/1 Pond Fill | | |
| 600-0000006 | 10" COMFILE HMI EDGE CPU | 1 |
| An industrial grade 10.1" (1024 × 600) LCD touchscreen user interface display shall be provided for monitoring and diagnostic purposes featuring: Digital flow (GPM) and pressure (PSI) display. Both cumulative and resettable gallons pumped indicators. Pump ready/running status with elapsed run time display per pump. Flow-based pressure regulation to match discharge pressure with irrigation demand Individual motor overload reporting Minute by minute data logging saved internally for Historic and real time X-Y plotting of pump station operation. Filter controls. Alarm log. Ability to change system parameters such as setpoint pressure time delays Fertigation graphic and control interface when sold with a Watertronics EZ Feed Injection Package. Life of the display shall be 50000 hours. The display software shall be configured for the pump station features. | | |

STANDARD EQUIPMENT FEATURES (Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|--|---|-----|
| 620-0000001 | LIGHTED HOA SWITCH | 1 |
| A lighted switch actuator shall be provided which shall be illuminated GREEN whenever the controlled item is active. One required per switch. | | |
| 630-0000002 | PREMIUM SURGE / LIGHTNING PROTECTION | 1 |
| A Premium 200kA max impulse current rated surge protective device shall be provided on the incoming power connections to the station. The SPD shall utilize high energy solid state suppression circuitry to effectively protect electrical equipment from extreme electrical disturbances. An additional 70kA max impulse current rated surge protective device shall be installed on the secondary of the control transformer. Diagnostic LEDs shall be provided on the devices to indicate operational status when powered. | | |
| 640-0000001 | FLOW SIGNAL OPTO COUPLER - FOR SHARING SIGNAL | 1 |
| An optical coupling device shall be provided for sharing of pump station flow signal with external customer control systems. The opto-coupler is rated for 3-30VDC (24VDC) nominal supply from customer control system and shall provide a minimum of 2500V isolation between station control system and external systems. | | |
| 640-0000002 | FLOW SENSOR OPTO ISOLATOR | 1 |
| An optical isolation device shall be provided for isolating OFF SKID station flow sensor from the control system. The optical isolator shall effectively improve flow signal quality and eliminate interference ground loops and other signal disturbances from entering station control electronics. | | |
| 650-0000003 | REMOTE DISABLE RELAY - 24VAC/DC | 1 |
| A 24VAC/DC remote disable relay input shall be provided. The remote disable relay shall effectively disable the pump station when the remote start relay coil is supplied 24VAC/DC power from an irrigation controller or other external power source provided by customer. If the station is running and relay is powered, the station will safely shutdown. When power is removed from the relay, the station will return to normal operation. | | |
| 680-0000010 | WATERVISION CLOUD - AT&T - W/3YR SUBSCRIPTION | 1 |
| WaterVision Cloud - AT&T network CELLULAR remote pump system monitoring package shall be provided. The system includes all hardware software and 3 YEAR SUBSCRIPTION for connection of a single pump station to the WaterVision Cloud Network via a cellular connection. The system shall allow customer to remotely monitor the pump station and the customer's other WaterVision Cloud enabled pump stations on the same property or multiple properties at any time from a cell phone tablet PC or other web based device. The system shall also allow control of the pump station including enable/disable and reset of alarms. The communication hardware will accept up to eight additional CHOICE CARD inputs. The WaterVision Cloud system is also expandable through connection of additional WaterVision Cloud enabled pump systems. Additional hardware is required for system expansion. Subscription may be renewed in future years for low annual fee approximatley \$450/year. Contact PSN for future subscription pricing. | | |
| 690-0000003 | CHOICE CARD - TEMPERATURE INPUT | 2 |
| An additional Input CHOICE card and TEMPERATURE SENSOR shall be provided for monitoring of ambient air temperature. WaterVision Cloud RTU with open choice card slot required. | | |
| 720-0000001 | FERTIGATION RUN RELAY | 1 |
| A Fertigation Run relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on when the station reaches a minimum flow set point and turn off when station flow drops below set point. The minimum flow set point shall be adjustable through the touchscreen display where provided. | | |

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION - (Continued) | QTY |
|---|---|----------|
| 720-0000003 | CHEMICAL TREATMENT RELAY | 1 |
| A Chemical Treatment relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on anytime a main pump is running. The chemical treatment relay shall have 2 DPDT 8A contacts. | | |
| 750-0000019 | ELECTRICAL ENCLOSURE | 1 |
| A heavy duty industrial grade 75Hx36Wx16D UL Listed NEMA 4 outdoor rated enclosure shall be provided to protect electrical control system components. The enclosure shall be custom built to Watertronics specifications specifically for water pumping applications and shall be fabricated of no less than 1/8" 5052 ALUMINUM finished on all inside and outside surfaces in polyester based WHITE powder coat finish for maximum durability. The enclosure shall be provided with heavy duty integral hinges with lift off doors INTERIOR LIGHTING PACKAGE heavy duty key lockable door handles continuously welded seams mechanical interlocks and drip shield. The electrical component back panel shall be galvanized steel for superior EMC performance. | | |
| 760-0000008 | CONTROL PANEL LEG KIT | 1 |
| A 6" HIGH heavy duty control panel leg kit shall be provided. Legs shall be fabricated from 3/8" thick A36 hot rolled steel plate and painted to match control panel enclosure color. The leg kit shall be designed for a 16" DEEP enclosure | | |
| 770-0000002 | HEAT EXCHANGER - LARGE - (5-12K BTU) | 1 |
| A premium quality closed loop water to air HEAT EXCHANGER cooling system shall be provided. The heat exchanger shall control temperature levels within the electrical enclosure protecting sensitive electronic components from overheating conditions. The heat exchanger shall be rated NEMA 4 for indoor/outdoor installations and prevent outside air or cooling water from entering electrical enclosure. The heat exchanger shall be properly sized to the application up to a maximum of 5-12K Btu cooling capacity. | | |
| 975-0000001 | OPERATION & MAINTENANCE MANUAL - ELECTRONIC COPY | 1 |
| A detailed OPERATION and MAINTENANCE manual shall be provided detailing basic system operation alarms general maintenance procedures and use of the operator interface. The manual shall be in English and provided in electronic format. | | |
| 999-0000004 | PRESSURE TRANSDUCER ASSEMBLY - TEE AND 4" GAUGE | 1 |
| Ship Loose - Pressure Transducer Assembly - Tee, and 4" Gauge | | |
| 999-0000006 | GROWSMART IM3000 SERIES MAGNETIC FLOW METER - 8" | 1 |
| Ship Loose - Growsmart IM3000 Series Magnetic Flowmeter - 8" | | |
| 999-0000007 | 8" BUTTERFLY VALVE | 1 |
| Ship Loose - 8" Lug Style Butterfly Valve | | |
| 999-0000008 | SUPPLY DISCHARGE PIPING | 1 |
| Ship loose discharge piping spools, check valve, 8" well head and flow meter spool. | | |
| 999-0000001 | 40HP SUBMERSIBLE PUMP, MOTOR, DISCAHRGE HEAD AND DROP PIPE | 1 |
| Supply 40hp Submersible pump motor, 8" discharge head, flowmeter piping | | |
| 999-0000002 | 8" CERTA-LOK DROP PIPE 70' SETTING | 1 |
| Supply 8" drop pipe Certa Lok piping | | |
| 999-0000003 | DISCHARGE DOG LEG | 1 |
| Supply discharge dog leg | | |

CLARIFICATIONS

Metro PSI recommends that the Owner inspect and clean (if deemed necessary) the existing wet well prior to the installation of the new pump station. The above pricing does not include any trenching. Owner is to furnish access to job site. The quoted price excludes, but not limited thereto, concrete work, wet well modifications, intake pipe, intake lake screen, damage to underground utilities, sprinklers, cart paths, building modifications, roof modification, ground surfaces or any bonds or permits that may or may not be required

PAYMENT TERMS

All Purchase Orders are subject to acceptance at factory. Receipt of production deposit, verification of acceptable credit, and confirmation of order are required before production. For orders with a value of less than \$100K, 25% production deposit required. For orders with a value of more than \$100K, 50% production deposit required. Balance due 30 days from date of invoice. Late fee of 1 1/2 % of the unpaid balance will be charged per month on all accounts which are past due.

ACCEPTANCE

Purchaser hereby agrees that in the event of default in the payment of any amount due, that if this account is placed in the hands of an agency for collection or legal action, to pay any and all related attorney fees, costs of collection including agency, private process servers fees, court costs, etc., incurred and any other costs of collection permitted by the laws governing these transactions.

- Equipment cancelled before completion will incur restocking charges that will be calculated at time of cancellation. Restocking fees may be the full cost of the pump station depending on the nature of the pump station that is cancelled.
- Terms are subject to final credit approval.
- Equipment shipped separately from the station, at Purchaser's request, may incur additional freight charges, payable by Purchaser.
- Delayed deliveries by the customer once equipment is ready to ship, will incur minimum storage charges of \$200 per week, added to the final invoice.

QUOTE APPROVED BY:

COMPANY NAME: _____ BY: _____

PRINT NAME: _____ TITLE: _____

SIGNATURE DATE: _____ REQUESTED DELIVERY DATE: _____

Please Return One Signed Copy of This Quotation On Acceptance. Merchandise delivered or shipped is due and payable to:
METRO PSI 922 SE 14TH PLACE, CAPE CORAL, FLORIDA 33990. PHONE (239)573-9700

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Delivery dates are estimates and confirmed shipment cannot be determined until all manufacturing details are known. Metro PSI Inc. will make reasonable efforts to establish a delivery schedule after receipt of an executed contract and all approvals. Seller shall not be liable for special or consequential damages caused by delay in delivery.

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BILL TO INFORMATION:

COMPANY NAME _____ EMAIL _____
BILLING ADDRESS _____ CITY _____
STATE _____ ZIP _____ CONTACT NAME _____
CONTACT PHONE NUMBER _____ CONTACT TITLE _____

SHIP TO INFORMATION:

COMPANY NAME _____ EMAIL _____
SHIPPING ADDRESS _____ CITY _____
STATE: _____ ZIP _____ CONTACT NAME _____
CONTACT PHONE NUMBER _____ CONTACT TITLE _____

Thank you for the opportunity to quote on your pump station needs, If you have any questions or require further information, please call us at (239)573-9700

FACTORY AUTHORIZED WARRANTY

Manufacturer warrants that the water pumping system or component will be free of defects in workmanship: For one year from date of authorized start-up but not later than fifteen months from date of manufacturer's invoice. Provided that all installation and operation responsibilities have been properly performed, manufacturer will provide a replacement part or component during the warranty life. Repairs done at manufacturer's expense must be pre-authorized. The start-up Certificate must be on file with manufacturer to activate warranty. Upon request, manufacturer will provide advice for trouble shooting of a defect during the warranty period.

This proposal contains equipment that may require costly means to remove and replace for service or repair, due to site conditions. Metro PSI will not accept liability for any costs associated with the removal or replacement of equipment in difficult-to access locations. This includes the use of cranes larger than 15 tons, divers, barges, helicopters, or other unusual means. All such extraordinary costs shall be borne by the customer, regardless of the reason necessitating removal of the product from service. Because of varied conditions beyond the control of manufacturer, this warranty does not cover damage under the following condition or environment unless otherwise specified in writing:

- Default of any agreement with manufacturer.
- Misuse, abuse, or failure to conduct routine maintenance.
- Handling any liquid other than irrigation water.
- Exposure to electrolysis, erosion, or abrasion.
- Presence of destructive gaseous or chemical solutions.
- Over voltage or unprotected low voltage.
- Unprotected electrical phase loss or phase reversal.
- Exposure to non-fused incoming power.
- Damage occurring when using control panel as service disconnect

The foregoing constitutes manufacturer's sole warranty and has not nor does it make any additional warranty, whether express or implied, with respect to the pumping system or component. Manufacturer makes no warranty, whether express or implied, with respect to fitness for a particular purpose or merchantability of the pumping system or component. Manufacturer shall not be liable to purchaser or any other person for any liability, loss, or damage caused or alleged to be caused, directly or indirectly, by the pumping system. In no event shall manufacturer be responsible for incidental, consequential, or act of God damages nor shall manufacturer's liability for damages to purchaser or any other person ever exceed the original factory purchase price.

**METRO PUMPING SYSTEMS INC**

922 SE 14TH PLACE
CAPE CORAL, FL 33990
PH: 239-573-9700
FX: 239-573-6700

CUSTOM PUMP SYSTEM QUOTATION

| | | | |
|-----------------------|--|-----------------------|--|
| PROJECT NAME: | AVE MARIA | DATE: | 10/29/25 |
| SITE LOCATION: | AVE MARIA, FL | QUOTED BY: | Kim Seidl |
| INSTALLATION: | INSIDE - WEATHER RESISTANT BUILDING | | |
| CUSTOMER : | AVE MARIA #18 | SALES REP: | Milo Seidl |
| CONTACT: | TOM PETROZZI | PHONE: | 239-229-3737 |
| ADDRESS: | 5325 AVE MARIA BLVD | EMAIL: | milo@metropsi.com |
| CITY / STATE: | AVE MARIA, FL 34142 | | |
| PHONE: | 239-738-7900 | | |
| EMAIL: | tom@earthtechenterprises.com | | |
| PERFORMANCE: | 382GPM @ 42PSI | WETWELL DEPTH: | 90' |
| INPUT POWER: | 480Y/277 Volt/3PHASE/60HZ | MODEL NUMBER: | CPV-ST-7C-(15)/-480-3-382-42 |

| CATEGORY | DESCRIPTION | QTY |
|------------------------------|---|-----|
| APPROVALS AND CERTIFICATIONS | • UL Listed - Industrial Control Panel | 1 |
| DISCONNECTS | • Station Disconnect Switch - 60A Fused | 1 |
| VFDS | • Variable Frequency Drive, 15HP, 380-480V/3ph | 1 |
| X/L CONTACTOR | • VFD Contactor - 460-575V/3Ph - 15HP | 1 |
| POWER MONITOR/SAFETY | • Power - Phase Monitor Protection | 1 |
| CONTROL SYSTEMS | • Type 7C - M262 PLC | 1 |
| TOUCHSCREEN DISPLAYS | • 10" ComFile HMI EDGE CPU | 1 |
| CONTROL SWITCHES | • Lighted HOA Switch | 1 |
| SURGE PROTECTION | • Premium Surge/Lightning Protection | 1 |
| OPTICAL ISOLATORS | • Flow Signal Opto Coupler - For Sharing Signal | 1 |
| OPTICAL ISOLATORS | • Flow Sensor Opto Isolator | 1 |
| REMOTE START OPTIONS | • Remote Disable Relay - 24VAC/DC | 1 |
| COMMUNICATION AND RTUS | • WaterVision Cloud - AT&T - w/3YR Subscription | 1 |
| COMMUNICATION ACCESSORIES | • Choice Card - Temperature Input | 2 |
| FERTIGATION ACCESSORIES | • Fertigation Run Relay | 1 |
| FERTIGATION ACCESSORIES | • Chemical Treatment Relay | 1 |
| ELECTRICAL ENCLOSURE | • Electrical Enclosure | 1 |
| ELECTRICAL ACCESSORIES | • Control Panel Leg Kit | 1 |
| ELECTRICAL ENCLOSURE COOLING | • Heat Exchanger - Standard - (2-4K Btu) | 1 |

| CATEGORY | DESCRIPTION - Continued | QTY |
|-------------------|--|-----|
| DOCUMENTATION | • Operation & Maint Manual (English) - Electronic Copy | 2 |
| PRESSURE CONTROLS | • Pressure Transducer Assembly - Tee, and 4" Gauge | 1 |
| LEVEL CONTROLS | • Wetwell Level Control w/1 Pond Fill | 1 |
| FLOW METER | • Growsmart IM3000 Series Magnetic Flowmeter - 8" | 1 |
| ISOLATION VALVES | • 8" BFV | 1 |
| PUMPS/MOTORS | • 15hp Submersible Pump,motor, discharge head and drop | 1 |
| PIPE | • 8" Certa-lok drop pipe 90' setting | 1 |
| DOGLEG | • Discharge dog leg | 1 |
| MISC. PIPPING | • Supply discharge piping | 1 |

STANDARD LABOR AND MATERIALS (Included in total station price)

| | | |
|--------------------|--------------|----------|
| 999-0000000 | LABOR | 1 |
|--------------------|--------------|----------|

- Provide duties of the sale representative, meeting with Superintendents, meeting with board members, discussing all options to be included for recharge well with customer, measure-up for engineered drawings, approving engineered drawings
- Co-ordinate with other subcontractors involved in the project and schedule work as needed.
- Provide crane service for complete rigging and labor to offload Recharge System at remote storage yard as needed to ensure station availability on day of installation.
- Inspection and documentation of condition and components prior to delivery to site for install.
- Complete U.L. listed Recharge Station as detailed above to meet or exceed specifications.
- Complete rigging and transportation of equipment from yard to new site on the day of installation.
- Complete rigging of new Recharge System on to existing well.
- Set (1) 15HP Pump and Motor
- Connect and wire-up Pump and Motor to control panel and test rotation
- Provide factory certified start-up services to ensure proper operation and calibration of new pump system.
- Complete end user operation and maintenance training per factory guidelines.

PUMP STATION PRICE (INCLUDES LABOR/STANDARD EQUIPMENT FEATURES)

SELECTED OPTIONS*

TOTAL PUMP STATION PRICE WITH SELECTED OPTIONS

| | |
|---|----------|
| DOMESTIC US FREIGHT FROM FACTORY TO JOB SITE: FOB FACTORY | INCLUDED |
| OFF LOAD & SETUP SUPERVISION: | INCLUDED |
| CRANE TO OFF-LOAD AND SET PUMP STATION: | INCLUDED |
| START UP: | INCLUDED |
| INSPECTION FEES: | INCLUDED |
| 2 YEAR WARRANTY - (INCLUDING PARTS, LABOR AND CRANE): | INCLUDED |
| TAX | INCLUDED |

Shipment: Estimated 14-18 weeks after receipt of signed contract and drawing approval. A firm delivery date will be established and transmitted within 5 days of receipt of all final details and documents.

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|---|--|-----|
| 005-0000002 | UL LISTED - INDUSTRIAL CONTROL PANEL | 1 |
| The station ELECTRICAL CONTROL PANEL shall be UL listed and meet or exceed UL508A specifications for safety of industrial control panels. Panel shall be assembled and tested in a UL508A certified panel shop. | | |
| 500-0000009 | STATION DISCONNECT SWITCH - 60A | 1 |
| A 3-pole 60 amp maximum FUSED UL Listed main disconnect switch shall be provided. The disconnect switch shall include an operating handle mounted in the main electrical panel door that shall open all ungrounded conductors of the service entrance to the panel. The disconnect switch shall be mechanically interlocked to prevent access while the operating handle is in the ON position. The station disconnect switch shall be correctly sized for the maximum station load and shall meet all applicable NEC and UL508A requirements. | | |
| 520-0000022 | VARIABLE FREQUENCY DRIVE, 15HP, 380-480V/3PH | 1 |
| A high efficiency industrial grade 15HP variable frequency drive shall be provided. The VFD shall be specifically designed for water pumping applications and include a graphical control interface keypad. All internal printed circuit boards shall be conformal coated for long service life. | | |
| 600-0000003 | POWER - PHASE MONITOR PROTECTION | 1 |
| An advanced microprocessor based Power Phase Monitoring system shall be provided to protect the pump system from equipment failure due to power faults occurring on the incoming electrical service to the pump station. The monitor shall actively monitor for phase loss, phase reversal, phase unbalance, under voltage and overvoltage conditions. In the event that these one or more of these conditions occur, the Phase Monitor shall signal the PLC logic controller to shut down the pump system preventing damage to pump system components. The phase monitor fault limits and time to trip shall be adjustable. A status LED shall indicate the fault type causing the shutdown event. | | |
| 600-0000004 | TYPE 7C - M262 PLC | 1 |
| The electrical control system shall be an Industrial grade PLC with custom programming written specifically for this project. Control logic shall be based on redundant design and interlocking of control devices for maximum safety and proper sequence of operation. The PLC controller shall have diagnostic LEDs for monitoring status of discrete inputs and outputs as well as a general PLC error feedback. The PLC shall contain RS485 and Ethernet communication ports for monitoring and programming purposes. The PLC will have a high speed counter clock and calendar function with year month day hour minute and day of the week. | | |
| 601-0000025 | WET WELL LEVEL CONTROL W/ 1 POND FILL | 1 |
| Logic Only - Wetwell Level Control w/1 Pond Fill | | |
| 600-0000006 | 10" COMFILE HMI EDGE CPU | 1 |
| An industrial grade 10.1" (1024 × 600) LCD touchscreen user interface display shall be provided for monitoring and diagnostic purposes featuring: Digital flow (GPM) and pressure (PSI) display. Both cumulative and resettable gallons pumped indicators. Pump ready/running status with elapsed run time display per pump. Flow-based pressure regulation to match discharge pressure with irrigation demand Individual motor overload reporting Minute by minute data logging saved internally for Historic and real time X-Y plotting of pump station operation. Filter controls. Alarm log. Ability to change system parameters such as setpoint pressure time delays Fertigation graphic and control interface when sold with a Watertronics EZ Feed Injection Package. Life of the display shall be 50000 hours. The display software shall be configured for the pump station features. | | |

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|--|---|-----|
| 620-0000001 | LIGHTED HOA SWITCH | 1 |
| A lighted switch actuator shall be provided which shall be illuminated GREEN whenever the controlled item is active. One required per switch. | | |
| 630-0000002 | PREMIUM SURGE / LIGHTNING PROTECTION | 1 |
| A Premium 200kA max impulse current rated surge protective device shall be provided on the incoming power connections to the station. The SPD shall utilize high energy solid state suppression circuitry to effectively protect electrical equipment from extreme electrical disturbances. An additional 70kA max impulse current rated surge protective device shall be installed on the secondary of the control transformer. Diagnostic LEDs shall be provided on the devices to indicate operational status when powered. | | |
| 640-0000001 | FLOW SIGNAL OPTO COUPLER - FOR SHARING SIGNAL | 1 |
| An optical coupling device shall be provided for sharing of pump station flow signal with external customer control systems. The opto-coupler is rated for 3-30VDC (24VDC) nominal supply from customer control system and shall provide a minimum of 2500V isolation between station control system and external systems. | | |
| 640-0000002 | FLOW SENSOR OPTO ISOLATOR | 1 |
| An optical isolation device shall be provided for isolating OFF SKID station flow sensor from the control system. The optical isolator shall effectively improve flow signal quality and eliminate interference ground loops and other signal disturbances from entering station control electronics. | | |
| 650-0000003 | REMOTE DISABLE RELAY - 24VAC/DC | 1 |
| A 24VAC/DC remote disable relay input shall be provided. The remote disable relay shall effectively disable the pump station when the remote start relay coil is supplied 24VAC/DC power from an irrigation controller or other external power source provided by customer. If the station is running and relay is powered, the station will safely shutdown. When power is removed from the relay, the station will return to normal operation. | | |
| 680-0000010 | WATERVISION CLOUD - AT&T - W/3YR SUBSCRIPTION | 1 |
| WaterVision Cloud - AT&T network CELLULAR remote pump system monitoring package shall be provided. The system includes all hardware software and 3 YEAR SUBSCRIPTION for connection of a single pump station to the WaterVision Cloud Network via a cellular connection. The system shall allow customer to remotely monitor the pump station and the customer's other WaterVision Cloud enabled pump stations on the same property or multiple properties at any time from a cell phone tablet PC or other web based device. The system shall also allow control of the pump station including enable/disable and reset of alarms. The communication hardware will accept up to eight additional CHOICE CARD inputs. The WaterVision Cloud system is also expandable through connection of additional WaterVision Cloud enabled pump systems. Additional hardware is required for system expansion. Subscription may be renewed in future years for low annual fee approximatley \$450/year. Contact PSN for future subscription pricing. | | |
| 690-0000003 | CHOICE CARD - TEMPERATURE INPUT | 2 |
| An additional Input CHOICE card and TEMPERATURE SENSOR shall be provided for monitoring of ambient air temperature. WaterVision Cloud RTU with open choice card slot required. | | |
| 720-0000001 | FERTIGATION RUN RELAY | 1 |
| A Fertigation Run relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on when the station reaches a minimum flow set point and turn off when station flow drops below set point. The minimum flow set point shall be adjustable through the touchscreen display where provided. | | |

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION - (Continued) | QTY |
|---|---|----------|
| 720-0000003 | CHEMICAL TREATMENT RELAY | 1 |
| A Chemical Treatment relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on anytime a main pump is running. The chemical treatment relay shall have 2 DPDT 8A contacts. | | |
| 750-0000019 | ELECTRICAL ENCLOSURE | 1 |
| A heavy duty industrial grade 75Hx36Wx16D UL Listed NEMA 4 outdoor rated enclosure shall be provided to protect electrical control system components. The enclosure shall be custom built to Watertronics specifications specifically for water pumping applications and shall be fabricated of no less than 1/8" 5052 ALUMINUM finished on all inside and outside surfaces in polyester based WHITE powder coat finish for maximum durability. The enclosure shall be provided with heavy duty integral hinges with lift off doors INTERIOR LIGHTING PACKAGE heavy duty key lockable door handles continuously welded seams mechanical interlocks and drip shield. The electrical component back panel shall be galvanized steel for superior EMC performance. | | |
| 760-0000008 | CONTROL PANEL LEG KIT | 1 |
| A 6" HIGH heavy duty control panel leg kit shall be provided. Legs shall be fabricated from 3/8" thick A36 hot rolled steel plate and painted to match control panel enclosure color. The leg kit shall be designed for a 16" DEEP enclosure | | |
| 770-0000002 | HEAT EXCHANGER - STANDARD - (2-4K BTU) | 1 |
| A premium quality closed loop water to air HEAT EXCHANGER cooling system shall be provided. The heat exchanger shall control temperature levels within the electrical enclosure protecting sensitive electronic components from overheating conditions. The heat exchanger shall be rated NEMA 4 for indoor/outdoor installations and prevent outside air or cooling water from entering electrical enclosure. The heat exchanger shall be properly sized to the application up to a maximum of 2-4K Btu cooling capacity. | | |
| 975-0000001 | OPERATION & MAINTENANCE MANUAL - ELECTRONIC COPY | 1 |
| A detailed OPERATION and MAINTENANCE manual shall be provided detailing basic system operation alarms general maintenance procedures and use of the operator interface. The manual shall be in English and provided in electronic format. | | |
| 999-0000004 | PRESSURE TRANSDUCER ASSEMBLY - TEE AND 4" GAUGE | 1 |
| Ship Loose - Pressure Transducer Assembly - Tee, and 4" Gauge | | |
| 999-0000006 | GROWSMART IM3000 SERIES MAGNETIC FLOW METER - 8" | 1 |
| Ship Loose - Growsmart IM3000 Series Magnetic Flowmeter - 8" | | |
| 999-0000007 | 8" BUTTERFLY VALVE | 1 |
| Ship Loose - 8" Lug Style Butterfly Valve | | |
| 999-0000008 | SUPPLY DISCHARGE PIPING | 1 |
| Ship loose discharge piping spools, check valve, 8" well head and flow meter spool. | | |
| 999-0000001 | 15HP SUBMERSIBLE PUMP, MOTOR, DISCAHRGE HEAD AND DROP PIPE | 1 |
| Supply 15hp Submersible pump motor, 8" discharge head, flowmeter piping | | |
| 999-0000002 | 8" CERTA-LOK DROP PIPE 90' SETTING | 1 |
| Supply 8" drop pipe Certa Lok piping | | |
| 999-0000003 | DISCHARGE DOG LEG | 1 |
| Supply discharge dog leg | | |

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QUOTE APPROVED BY:

| | |
|-----------------------|--------------------------------|
| COMPANY NAME: _____ | BY: _____ |
| PRINT NAME: _____ | TITLE: _____ |
| SIGNATURE DATE: _____ | REQUESTED DELIVERY DATE: _____ |

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BILLING ADDRESS _____ CITY _____
STATE _____ ZIP _____ CONTACT NAME _____
CONTACT PHONE NUMBER _____ CONTACT TITLE _____

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- Misuse, abuse, or failure to conduct routine maintenance.
- Handling any liquid other than irrigation water.
- Exposure to electrolysis, erosion, or abrasion.
- Presence of destructive gaseous or chemical solutions.
- Over voltage or unprotected low voltage.
- Unprotected electrical phase loss or phase reversal.
- Exposure to non-fused incoming power.
- Damage occurring when using control panel as service disconnect

The foregoing constitutes manufacturer's sole warranty and has not nor does it make any additional warranty, whether express or implied, with respect to the pumping system or component. Manufacturer makes no warranty, whether express or implied, with respect to fitness for a particular purpose or merchantability of the pumping system or component. Manufacturer shall not be liable to purchaser or any other person for any liability, loss, or damage caused or alleged to be caused, directly or indirectly, by the pumping system. In no event shall manufacturer be responsible for incidental, consequential, or act of God damages nor shall manufacturer's liability for damages to purchaser or any other person ever exceed the original factory purchase price.

**METRO PUMPING SYSTEMS INC**

922 SE 14TH PLACE
CAPE CORAL, FL 33990
PH: 239-573-9700
FX: 239-573-6700

CUSTOM PUMP SYSTEM QUOTATION

PROJECT NAME: AVE MARIA
SITE LOCATION: AVE MARIA, FL
INSTALLATION: INSIDE - WEATHER RESISTANT BUILDING

DATE: 10/29/25
QUOTED BY: Kim Seidl

CUSTOMER : AVE MARIA #20
CONTACT: TOM PETROZZI
ADDRESS: 5325 AVE MARIA BLVD
CITY / STATE: AVE MARIA, FL 34142
PHONE: 239-738-7900
EMAIL: tom@earthtechenterprises.com

SALES REP: Milo Seidl
PHONE: 239-229-3737
EMAIL: milo@metropsi.com

PERFORMANCE: 1425GPM @ 28PSI
INPUT POWER: 480Y/277 Volt/3PHASE/60HZ
WETWELL DEPTH: 55'
MODEL NUMBER: CPV-ST-7C-(40)/-480-3-1425-28

| CATEGORY | DESCRIPTION | QTY |
|------------------------------|---|-----|
| APPROVALS AND CERTIFICATIONS | • UL Listed - Industrial Control Panel | 1 |
| DISCONNECTS | • Station Disconnect Switch - 100A Fused | 1 |
| VFDS | • Variable Frequency Drive, 40HP, 380-480V/3ph | 1 |
| X/L CONTACTOR | • VFD Contactor - 460-575V/3Ph - 40HP | 1 |
| POWER MONITOR/SAFETY | • Power - Phase Monitor Protection | 1 |
| CONTROL SYSTEMS | • Type 7C - M262 PLC | 1 |
| TOUCHSCREEN DISPLAYS | • 10" ComFile HMI EDGE CPU | 1 |
| CONTROL SWITCHES | • Lighted HOA Switch | 1 |
| SURGE PROTECTION | • Premium Surge/Lightning Protection | 1 |
| OPTICAL ISOLATORS | • Flow Signal Opto Coupler - For Sharing Signal | 1 |
| OPTICAL ISOLATORS | • Flow Sensor Opto Isolator | 1 |
| REMOTE START OPTIONS | • Remote Disable Relay - 24VAC/DC | 1 |
| COMMUNICATION AND RTUS | • WaterVision Cloud - AT&T - w/3YR Subscription | 1 |
| COMMUNICATION ACCESSORIES | • Choice Card - Temperature Input | 2 |
| FERTIGATION ACCESSORIES | • Fertigation Run Relay | 1 |
| FERTIGATION ACCESSORIES | • Chemical Treatment Relay | 1 |
| ELECTRICAL ENCLOSURE | • Electrical Enclosure | 1 |
| ELECTRICAL ACCESSORIES | • Control Panel Leg Kit | 1 |
| ELECTRICAL ENCLOSURE COOLING | • Heat Exchanger - Large - (5-12K Btu) | 1 |

| CATEGORY | DESCRIPTION - Continued | QTY |
|---------------------|--|-----|
| DOCUMENTATION | <ul style="list-style-type: none"> • Operation & Maint Manual (English) - Electronic Copy | 2 |
| PRESSURE TRANSDUCER | <ul style="list-style-type: none"> • Pressure Transducer Assembly - Tee, and 4" Gauge | 1 |
| LEVEL CONTROLS | <ul style="list-style-type: none"> • Wetwell Level Control w/1 Pond Fill | 1 |
| FLOW METER | <ul style="list-style-type: none"> • Growsmart IM3000 Series Magnetic Flowmeter - 8" | 1 |
| VALVES | <ul style="list-style-type: none"> • 8" BFV | 1 |
| PUMPS/MOTORS | <ul style="list-style-type: none"> • 40hp Submersible Pump, motor, discharge head and drop pipe | 1 |
| PIPE | <ul style="list-style-type: none"> • 8" Certa-lok drop pipe 55' setting | 1 |
| DOGLEG | <ul style="list-style-type: none"> • Discharge dog leg | 1 |
| PIPING | <ul style="list-style-type: none"> • Supply discharge piping | 1 |

STANDARD LABOR AND MATERIALS (Included in total station price)

| | | |
|--------------------|--------------|----------|
| 999-0000000 | LABOR | 1 |
|--------------------|--------------|----------|

- Provide duties of the sale representative, meeting with Superintendents, meeting with board members, discussing all options to be included for recharge well with customer, measure-up for engineered drawings, approving engineered drawings
- Co-ordinate with other subcontractors involved in the project and schedule work as needed.
- Provide crane service for complete rigging and labor to offload Recharge System at remote storage yard as needed to ensure station availability on day of installation.
- Inspection and documentation of condition and components prior to delivery to site for install.
- Complete U.L. listed Recharge Station as detailed above to meet or exceed specifications.
- Complete rigging and transportation of equipment from yard to new site on the day of installation.
- Complete rigging of new Recharge System on to existing well.
- Set (1) 40HP Pump and Motor
- Connect and wire-up Pump and Motor to control panel and test rotation
- Provide factory certified start-up services to ensure proper operation and calibration of new pump system.
- Complete end user operation and maintenance training per factory guidelines.

PUMP STATION PRICE (INCLUDES LABOR/STANDARD EQUIPMENT FEATURES)

SELECTED OPTIONS*

TOTAL PUMP STATION PRICE WITH SELECTED OPTIONS

| | |
|---|----------|
| DOMESTIC US FREIGHT FROM FACTORY TO JOB SITE: FOB FACTORY | INCLUDED |
| OFF LOAD & SETUP SUPERVISION: | INCLUDED |
| CRANE TO OFF-LOAD AND SET PUMP STATION: | INCLUDED |
| START UP: | INCLUDED |
| INSPECTION FEES: | INCLUDED |
| 2 YEAR WARRANTY - (INCLUDING PARTS, LABOR AND CRANE): | INCLUDED |
| TAX | INCLUDED |

Shipment: Estimated 14-18 weeks after receipt of signed contract and drawing approval. A firm delivery date will be established and transmitted within 5 days of receipt of all final details and documents.

STANDARD EQUIPMENT FEATURES (Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|---|---|----------|
| 005-0000002 | UL LISTED - INDUSTRIAL CONTROL PANEL | 1 |
| The station ELECTRICAL CONTROL PANEL shall be UL listed and meet or exceed UL508A specifications for safety of industrial control panels. Panel shall be assembled and tested in a UL508A certified panel shop. | | |
| 500-0000010 | STATION DISCONNECT SWITCH - 100A | 1 |
| A 3-pole 100 amp maximum FUSED UL Listed main disconnect switch shall be provided. The disconnect switch shall include an operating handle mounted in the main electrical panel door that shall open all ungrounded conductors of the service entrance to the panel. The disconnect switch shall be mechanically interlocked to prevent access while the operating handle is in the ON position. The station disconnect switch shall be correctly sized for the maximum station load and shall meet all applicable NEC and UL508A requirements. | | |
| 520-0000026 | VARIABLE FREQUENCY DRIVE, 40HP, 380-480V/3PH | 1 |
| A high efficiency industrial grade 40HP variable frequency drive shall be provided. The VFD shall be specifically designed for water pumping applications and include a graphical control interface keypad. All internal printed circuit boards shall be conformal coated for long service life. | | |
| 600-0000003 | POWER - PHASE MONITOR PROTECTION | 1 |
| An advanced microprocessor based Power Phase Monitoring system shall be provided to protect the pump system from equipment failure due to power faults occurring on the incoming electrical service to the pump station. The monitor shall actively monitor for phase loss, phase reversal, phase unbalance, under voltage and overvoltage conditions. In the event that these one or more of these conditions occur, the Phase Monitor shall signal the PLC logic controller to shut down the pump system preventing damage to pump system components. The phase monitor fault limits and time to trip shall be adjustable. A status LED shall indicate the fault type causing the shutdown event. | | |
| 600-0000004 | TYPE 7C - M262 PLC | 1 |
| The electrical control system shall be an Industrial grade PLC with custom programming written specifically for this project. Control logic shall be based on redundant design and interlocking of control devices for maximum safety and proper sequence of operation. The PLC controller shall have diagnostic LEDs for monitoring status of discrete inputs and outputs as well as a general PLC error feedback. The PLC shall contain RS485 and Ethernet communication ports for monitoring and programming purposes. The PLC will have a high speed counter clock and calendar function with year month day hour minute and day of the week. | | |
| 601-0000025 | WET WELL LEVEL CONTROL W/ 1 POND FILL | 1 |
| Logic Only - Wetwell Level Control w/1 Pond Fill | | |
| 600-0000006 | 10" COMFILE HMI EDGE CPU | 1 |
| An industrial grade 10.1" (1024 × 600) LCD touchscreen user interface display shall be provided for monitoring and diagnostic purposes featuring: Digital flow (GPM) and pressure (PSI) display. Both cumulative and resettable gallons pumped indicators. Pump ready/running status with elapsed run time display per pump. Flow-based pressure regulation to match discharge pressure with irrigation demand Individual motor overload reporting Minute by minute data logging saved internally for Historic and real time X-Y plotting of pump station operation. Filter controls. Alarm log. Ability to change system parameters such as setpoint pressure time delays Fertigation graphic and control interface when sold with a Watertronics EZ Feed Injection Package. Life of the display shall be 50000 hours. The display software shall be configured for the pump station features. | | |

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION | QTY |
|--|---|-----|
| 620-0000001 | LIGHTED HOA SWITCH | 1 |
| A lighted switch actuator shall be provided which shall be illuminated GREEN whenever the controlled item is active. One required per switch. | | |
| 630-0000002 | PREMIUM SURGE / LIGHTNING PROTECTION | 1 |
| A Premium 200kA max impulse current rated surge protective device shall be provided on the incoming power connections to the station. The SPD shall utilize high energy solid state suppression circuitry to effectively protect electrical equipment from extreme electrical disturbances. An additional 70kA max impulse current rated surge protective device shall be installed on the secondary of the control transformer. Diagnostic LEDs shall be provided on the devices to indicate operational status when powered. | | |
| 640-0000001 | FLOW SIGNAL OPTO COUPLER - FOR SHARING SIGNAL | 1 |
| An optical coupling device shall be provided for sharing of pump station flow signal with external customer control systems. The opto-coupler is rated for 3-30VDC (24VDC) nominal supply from customer control system and shall provide a minimum of 2500V isolation between station control system and external systems. | | |
| 640-0000002 | FLOW SENSOR OPTO ISOLATOR | 1 |
| An optical isolation device shall be provided for isolating OFF SKID station flow sensor from the control system. The optical isolator shall effectively improve flow signal quality and eliminate interference ground loops and other signal disturbances from entering station control electronics. | | |
| 650-0000003 | REMOTE DISABLE RELAY - 24VAC/DC | 1 |
| A 24VAC/DC remote disable relay input shall be provided. The remote disable relay shall effectively disable the pump station when the remote start relay coil is supplied 24VAC/DC power from an irrigation controller or other external power source provided by customer. If the station is running and relay is powered, the station will safely shutdown. When power is removed from the relay, the station will return to normal operation. | | |
| 680-0000010 | WATERVISION CLOUD - AT&T - W/3YR SUBSCRIPTION | 1 |
| WaterVision Cloud - AT&T network CELLULAR remote pump system monitoring package shall be provided. The system includes all hardware software and 3 YEAR SUBSCRIPTION for connection of a single pump station to the WaterVision Cloud Network via a cellular connection. The system shall allow customer to remotely monitor the pump station and the customer's other WaterVision Cloud enabled pump stations on the same property or multiple properties at any time from a cell phone tablet PC or other web based device. The system shall also allow control of the pump station including enable/disable and reset of alarms. The communication hardware will accept up to eight additional CHOICE CARD inputs. The WaterVision Cloud system is also expandable through connection of additional WaterVision Cloud enabled pump systems. Additional hardware is required for system expansion. Subscription may be renewed in future years for low annual fee approximatley \$450/year. Contact PSN for future subscription pricing. | | |
| 690-0000003 | CHOICE CARD - TEMPERATURE INPUT | 2 |
| An additional Input CHOICE card and TEMPERATURE SENSOR shall be provided for monitoring of ambient air temperature. WaterVision Cloud RTU with open choice card slot required. | | |
| 720-0000001 | FERTIGATION RUN RELAY | 1 |
| A Fertigation Run relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on when the station reaches a minimum flow set point and turn off when station flow drops below set point. The minimum flow set point shall be adjustable through the touchscreen display where provided. | | |

STANDARD EQUIPMENT FEATURES

(Included in total station price)

| OPTION NO. | DESCRIPTION - (Continued) | QTY |
|---|---|----------|
| 720-0000003 | CHEMICAL TREATMENT RELAY | 1 |
| A Chemical Treatment relay shall be provided to activate a customer provided chemical injection system. The relay output shall turn on anytime a main pump is running. The chemical treatment relay shall have 2 DPDT 8A contacts. | | |
| 750-0000019 | ELECTRICAL ENCLOSURE | 1 |
| A heavy duty industrial grade 75Hx36Wx16D UL Listed NEMA 4 outdoor rated enclosure shall be provided to protect electrical control system components. The enclosure shall be custom built to Watertronics specifications specifically for water pumping applications and shall be fabricated of no less than 1/8" 5052 ALUMINUM finished on all inside and outside surfaces in polyester based WHITE powder coat finish for maximum durability. The enclosure shall be provided with heavy duty integral hinges with lift off doors INTERIOR LIGHTING PACKAGE heavy duty key lockable door handles continuously welded seams mechanical interlocks and drip shield. The electrical component back panel shall be galvanized steel for superior EMC performance. | | |
| 760-0000008 | CONTROL PANEL LEG KIT | 1 |
| A 6" HIGH heavy duty control panel leg kit shall be provided. Legs shall be fabricated from 3/8" thick A36 hot rolled steel plate and painted to match control panel enclosure color. The leg kit shall be designed for a 16" DEEP enclosure | | |
| 770-0000002 | HEAT EXCHANGER - LARGE - (5-12K BTU) | 1 |
| A premium quality closed loop water to air HEAT EXCHANGER cooling system shall be provided. The heat exchanger shall control temperature levels within the electrical enclosure protecting sensitive electronic components from overheating conditions. The heat exchanger shall be rated NEMA 4 for indoor/outdoor installations and prevent outside air or cooling water from entering electrical enclosure. The heat exchanger shall be properly sized to the application up to a maximum of 5-12K Btu cooling capacity. | | |
| 975-0000001 | OPERATION & MAINTENANCE MANUAL - ELECTRONIC COPY | 1 |
| A detailed OPERATION and MAINTENANCE manual shall be provided detailing basic system operation alarms general maintenance procedures and use of the operator interface. The manual shall be in English and provided in electronic format. | | |
| 999-0000004 | PRESSURE TRANSDUCER ASSEMBLY - TEE AND 4" GAUGE | 1 |
| Ship Loose - Pressure Transducer Assembly - Tee, and 4" Gauge | | |
| 999-0000006 | GROWSMART IM3000 SERIES MAGNETIC FLOW METER - 8" | 1 |
| Ship Loose - Growsmart IM3000 Series Magnetic Flowmeter - 8" | | |
| 999-0000007 | 8" BUTTERFLY VALVE | 1 |
| Ship Loose - 8" Lug Style Butterfly Valve | | |
| 999-0000008 | SUPPLY DISCHARGE PIPING | 1 |
| Ship loose discharge piping spools, check valve, 8" well head and flow meter spool. | | |
| 999-0000001 | 40HP SUBMERSIBLE PUMP, MOTOR, DISCAHRGE HEAD AND DROP PIPE | 1 |
| Supply 40hp Submersible pump motor, 8" discharge head, flowmeter piping | | |
| 999-0000002 | 8" CERTA-LOK DROP PIPE 55' SETTING | 1 |
| Supply 8" drop pipe Certa Lok piping | | |
| 999-0000003 | DISCHARGE DOG LEG | 1 |
| Supply discharge dog leg | | |

CLARIFICATIONS

Metro PSI recommends that the Owner inspect and clean (if deemed necessary) the existing wet well prior to the installation of the new pump station. The above pricing does not include any trenching. Owner is to furnish access to job site. The quoted price excludes, but not limited thereto, concrete work, wet well modifications, intake pipe, intake lake screen, damage to underground utilities, sprinklers, cart paths, building modifications, roof modification, ground surfaces or any bonds or permits that may or may not be required

PAYMENT TERMS

All Purchase Orders are subject to acceptance at factory. Receipt of production deposit, verification of acceptable credit, and confirmation of order are required before production. For orders with a value of less than \$100K, 25% production deposit required. For orders with a value of more than \$100K, 50% production deposit required. Balance due 30 days from date of invoice. Late fee of 1 1/2 % of the unpaid balance will be charged per month on all accounts which are past due.

ACCEPTANCE

Purchaser hereby agrees that in the event of default in the payment of any amount due, that if this account is placed in the hands of an agency for collection or legal action, to pay any and all related attorney fees, costs of collection including agency, private process servers fees, court costs, etc., incurred and any other costs of collection permitted by the laws governing these transactions.

- Equipment cancelled before completion will incur restocking charges that will be calculated at time of cancellation. Restocking fees may be the full cost of the pump station depending on the nature of the pump station that is cancelled.
- Terms are subject to final credit approval.
- Equipment shipped separately from the station, at Purchaser's request, may incur additional freight charges, payable by Purchaser.
- Delayed deliveries by the customer once equipment is ready to ship, will incur minimum storage charges of \$200 per week, added to the final invoice.

QUOTE APPROVED BY:

COMPANY NAME: _____ BY: _____

PRINT NAME: _____ TITLE: _____

SIGNATURE DATE: _____ REQUESTED DELIVERY DATE: _____

Please Return One Signed Copy of This Quotation On Acceptance. Merchandise delivered or shipped is due and payable to:
METRO PSI 922 SE 14TH PLACE, CAPE CORAL, FLORIDA 33990. PHONE (239)573-9700

DELIVERY

Delivery dates are estimates and confirmed shipment cannot be determined until all manufacturing details are known. Metro PSI Inc. will make reasonable efforts to establish a delivery schedule after receipt of an executed contract and all approvals. Seller shall not be liable for special or consequential damages caused by delay in delivery.

ACCEPTANCE

If for any reason buyer is unable to accept delivery at the agree to date , then delivery shall be deemed completed in seller's warehouse for purposes of payment and seller shall store and subsequently deliver as provided above. Buyer will be responsible for additional handling fee of \$250.00 and storage charges of \$750.00 per month which will be added to invoice.

LEIN

Seller retains a security interest in all products sold to buyer until the purchase price and other charges, if any, are paid in full as provided in Article 9 of the Uniform Commercial Code. Seller will file a Mechanics Lien or execute other documents as required to perfect the security interest in the products sold.

BILL TO INFORMATION:

COMPANY NAME _____ EMAIL _____
BILLING ADDRESS _____ CITY _____
STATE _____ ZIP _____ CONTACT NAME _____
CONTACT PHONE NUMBER _____ CONTACT TITLE _____

SHIP TO INFORMATION:

COMPANY NAME _____ EMAIL _____
SHIPPING ADDRESS _____ CITY _____
STATE: _____ ZIP _____ CONTACT NAME _____
CONTACT PHONE NUMBER _____ CONTACT TITLE _____

Thank you for the opportunity to quote on your pump station needs, If you have any questions or require further information, please call us at (239)573-9700

FACTORY AUTHORIZED WARRANTY

Manufacturer warrants that the water pumping system or component will be free of defects in workmanship: For one year from date of authorized start-up but not later than fifteen months from date of manufacturer's invoice. Provided that all installation and operation responsibilities have been properly performed, manufacturer will provide a replacement part or component during the warranty life. Repairs done at manufacturer's expense must be pre-authorized. The start-up Certificate must be on file with manufacturer to activate warranty. Upon request, manufacturer will provide advice for trouble shooting of a defect during the warranty period.

This proposal contains equipment that may require costly means to remove and replace for service or repair, due to site conditions. Metro PSI will not accept liability for any costs associated with the removal or replacement of equipment in difficult-to access locations. This includes the use of cranes larger than 15 tons, divers, barges, helicopters, or other unusual means. All such extraordinary costs shall be borne by the customer, regardless of the reason necessitating removal of the product from service. Because of varied conditions beyond the control of manufacturer, this warranty does not cover damage under the following condition or environment unless otherwise specified in writing:

- Default of any agreement with manufacturer.
- Misuse, abuse, or failure to conduct routine maintenance.
- Handling any liquid other than irrigation water.
- Exposure to electrolysis, erosion, or abrasion.
- Presence of destructive gaseous or chemical solutions.
- Over voltage or unprotected low voltage.
- Unprotected electrical phase loss or phase reversal.
- Exposure to non-fused incoming power.
- Damage occurring when using control panel as service disconnect

The foregoing constitutes manufacturer's sole warranty and has not nor does it make any additional warranty, whether express or implied, with respect to the pumping system or component. Manufacturer makes no warranty, whether express or implied, with respect to fitness for a particular purpose or merchantability of the pumping system or component. Manufacturer shall not be liable to purchaser or any other person for any liability, loss, or damage caused or alleged to be caused, directly or indirectly, by the pumping system. In no event shall manufacturer be responsible for incidental, consequential, or act of God damages nor shall manufacturer's liability for damages to purchaser or any other person ever exceed the original factory purchase price.

**CONSIDER APPROVAL OF AGREEMENT
WITH MOTOROLA SOLUTIONS FOR
SECURITY CAMERAS PHASE 2**

**TO BE DISTRIBUTED
UNDER SEPARATE COVER**

Ave Maria
Stewardship Community District

MEMORANDUM

To: Board of Supervisors
From: Allyson Holland, P.E., District Manager
Date: November 21, 2025
Board Meeting Date: December 2, 2025

SUBJECT

Cost Sharing of District Roadways with Collier County.

STAFF RECOMMENDATION

Staff recommends the Board receive a presentation, discuss cost sharing of District roads with Collier County, and provide staff direction to move forward.

GENERAL INFORMATION

Earlier this year, Mr. Casalanguida discussed cost sharing options for District roadways with Collier County. The Board unanimously agreed that the District should request funding for District roadways from Collier County as District roadways are used by the general public, not just Ave Maria residents.

Ave Maria Development has prepared a brief presentation regarding the District roadways. After Board discussion, staff will move forward upon receiving guidance from the Board with either preparing a Resolution requesting Collier County maintain District roadways or prepare an Interlocal Agreement for Cost Sharing between the District and Collier County.

PROCUREMENT REVIEW

N/A

DISTRICT ENGINEER REVIEW

N/A

DISTRICT LEGAL COUNSEL REVIEW

N/A

FUNDING REVIEW

N/A



Ave Maria

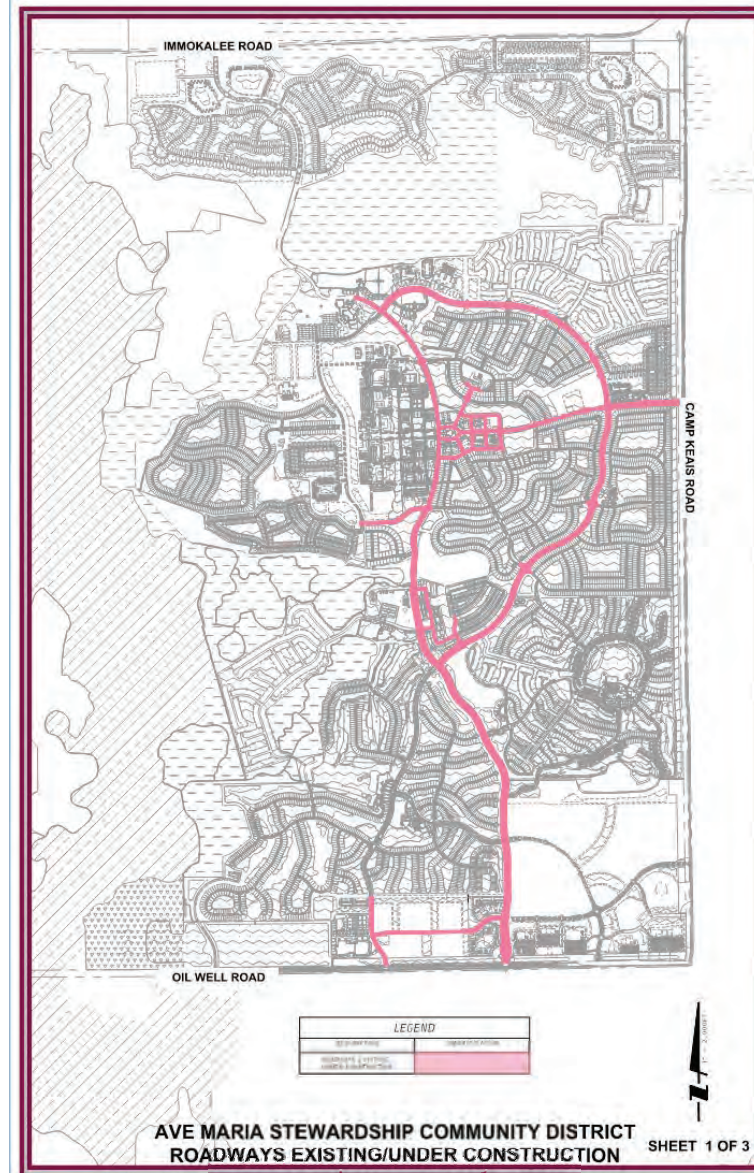
A BIG KIND OF SMALL TOWN

AVE MARIA TAX CONTRIBUTION

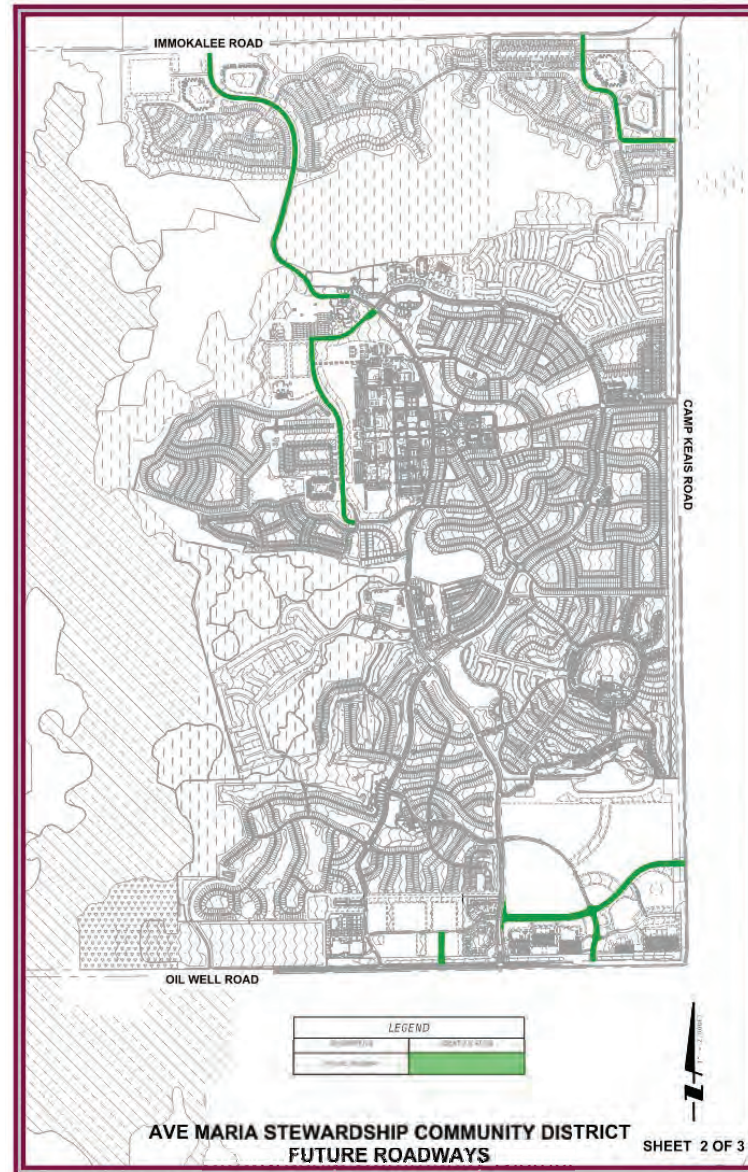
| Funding Agency | District Name | Roll Year | Allocated |
|-------------------------------|---------------------|-----------|--------------|
| BOARD OF COUNTY COMMISSIONERS | GENERAL FUND | 2024 | \$ 4,307,277 |
| BOARD OF COUNTY COMMISSIONERS | UNINCORP GEN - MSTD | 2024 | \$ 979,143 |



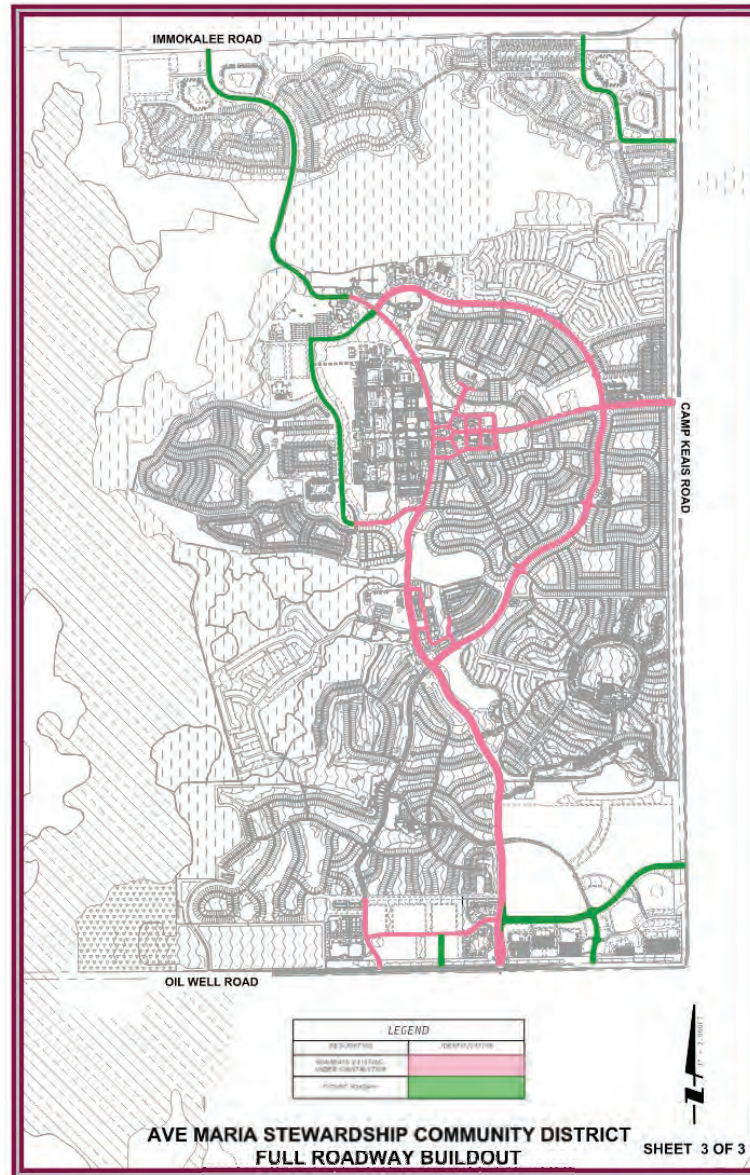
Roadways Existing/Under Construction



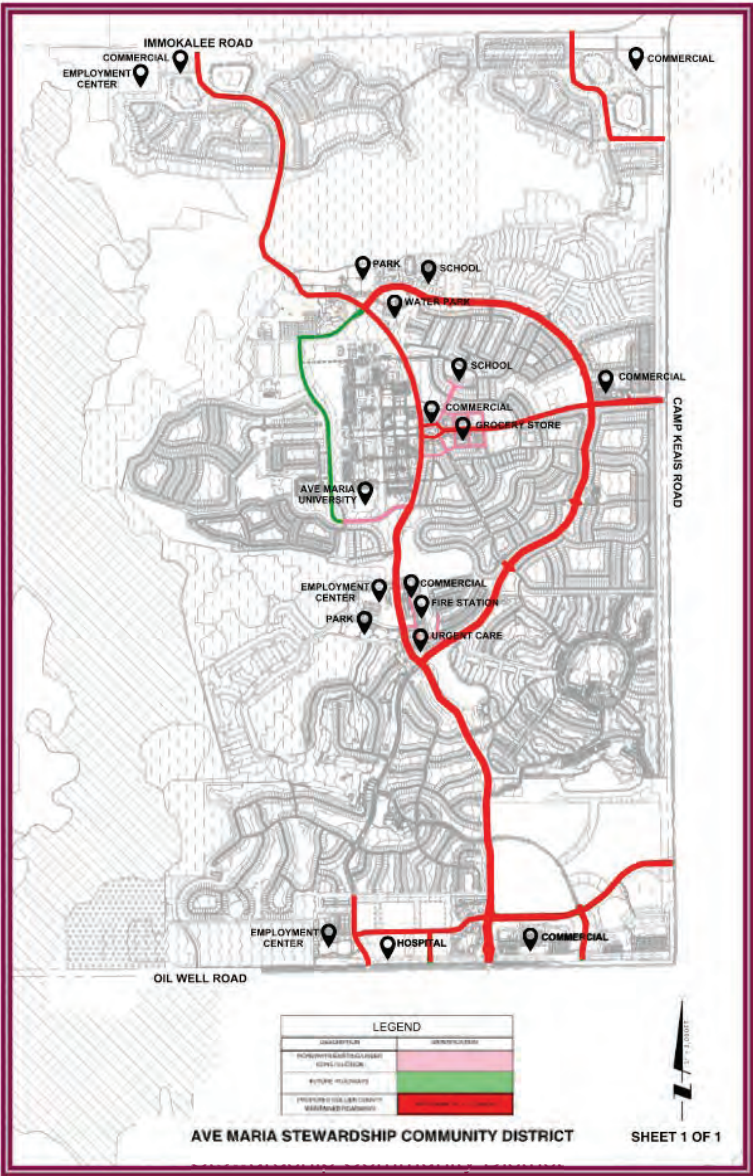
Future Roadways



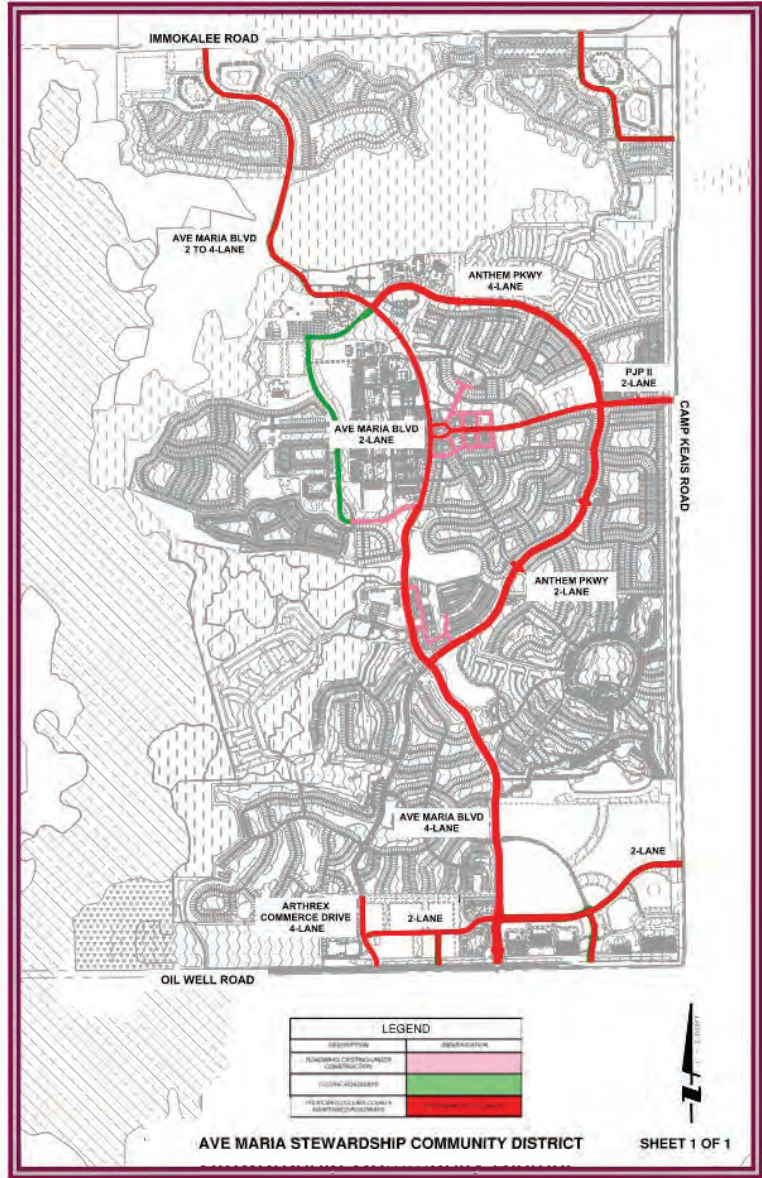
Full Roadway Buildout

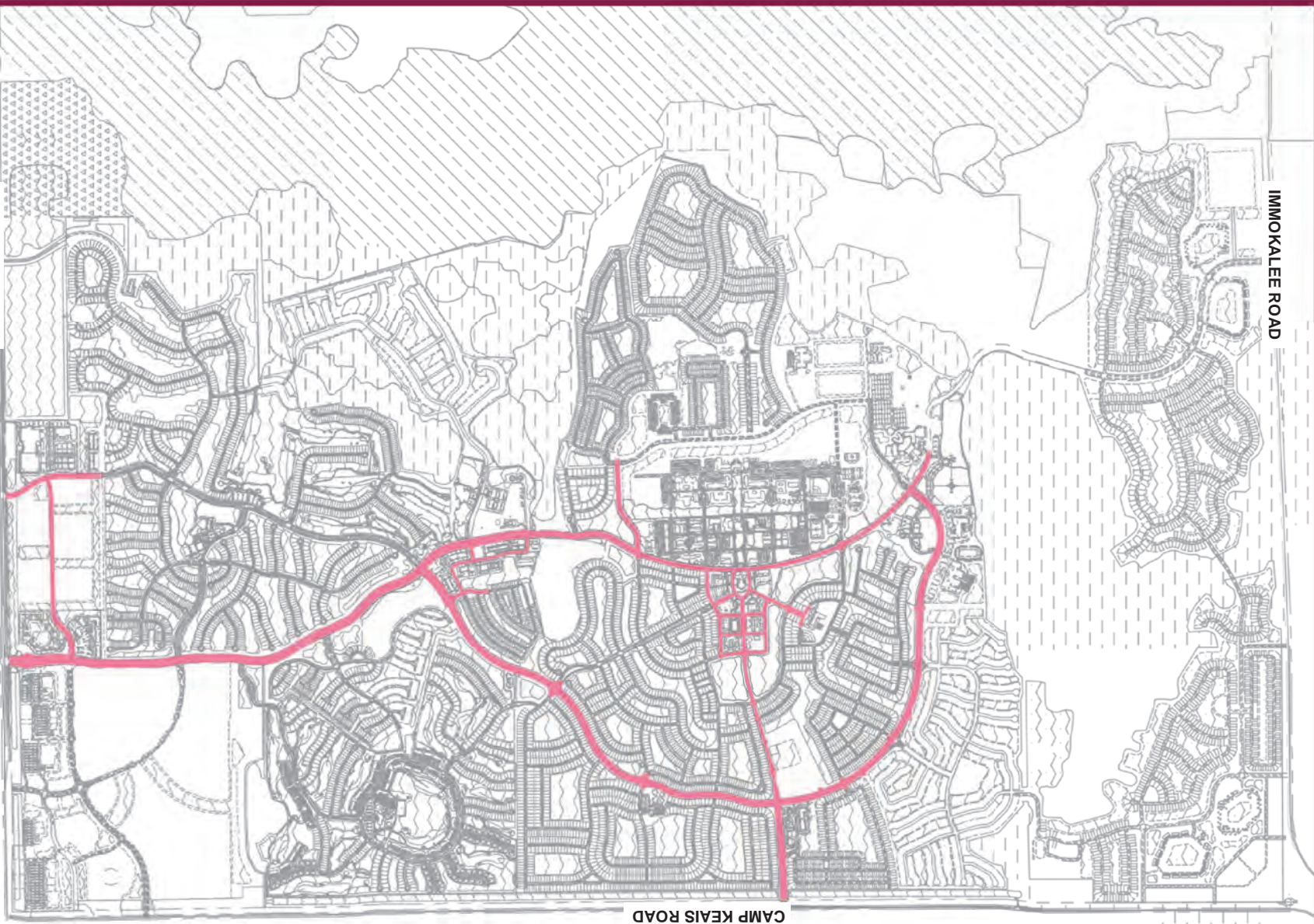


AMSCD Public
Benefit



Proposed Collier County Maintenance Roadways





IMMOKALEE ROAD

OIL WELL ROAD

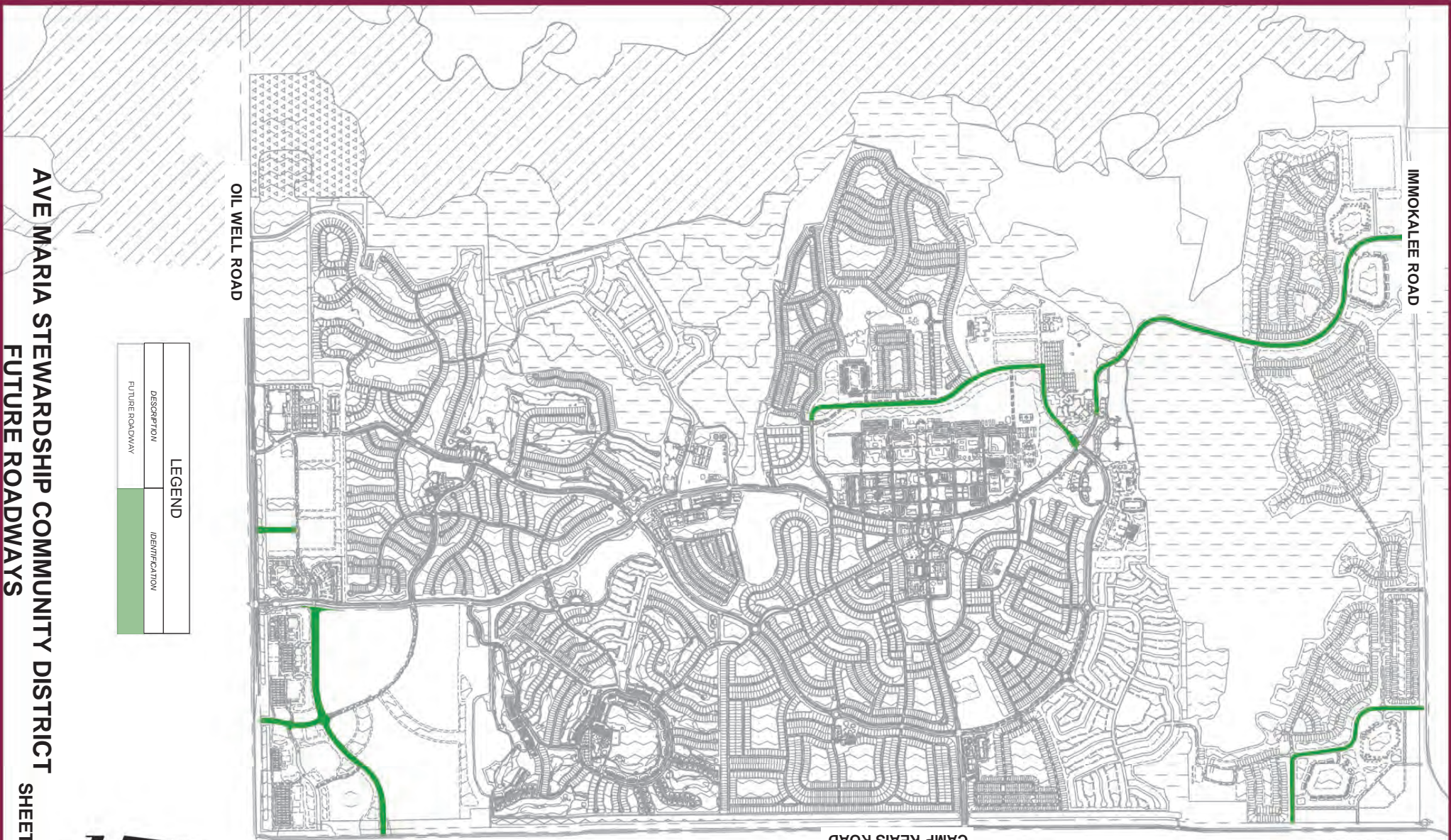
CAMP KEAIS ROAD

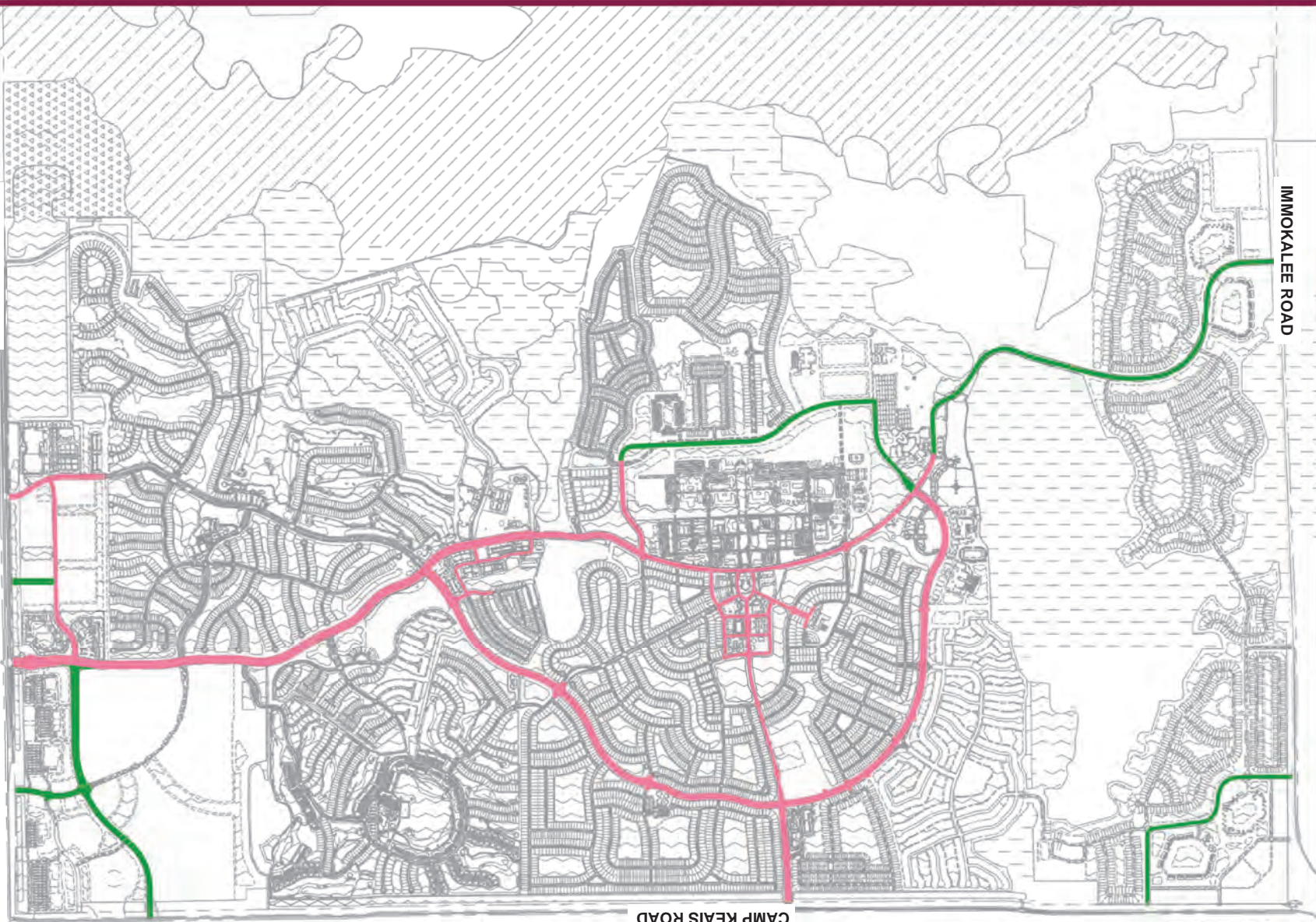
| LEGEND | |
|--|----------------|
| DESCRIPTION | IDENTIFICATION |
| ROADWAYS EXISTING/ UNDER CONSTRUCTION | |



AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
ROADWAYS EXISTING/UNDER CONSTRUCTION

SHEET 1 OF 3





IMMOKALEE ROAD

CAMP KEAIS ROAD

OIL WELL ROAD

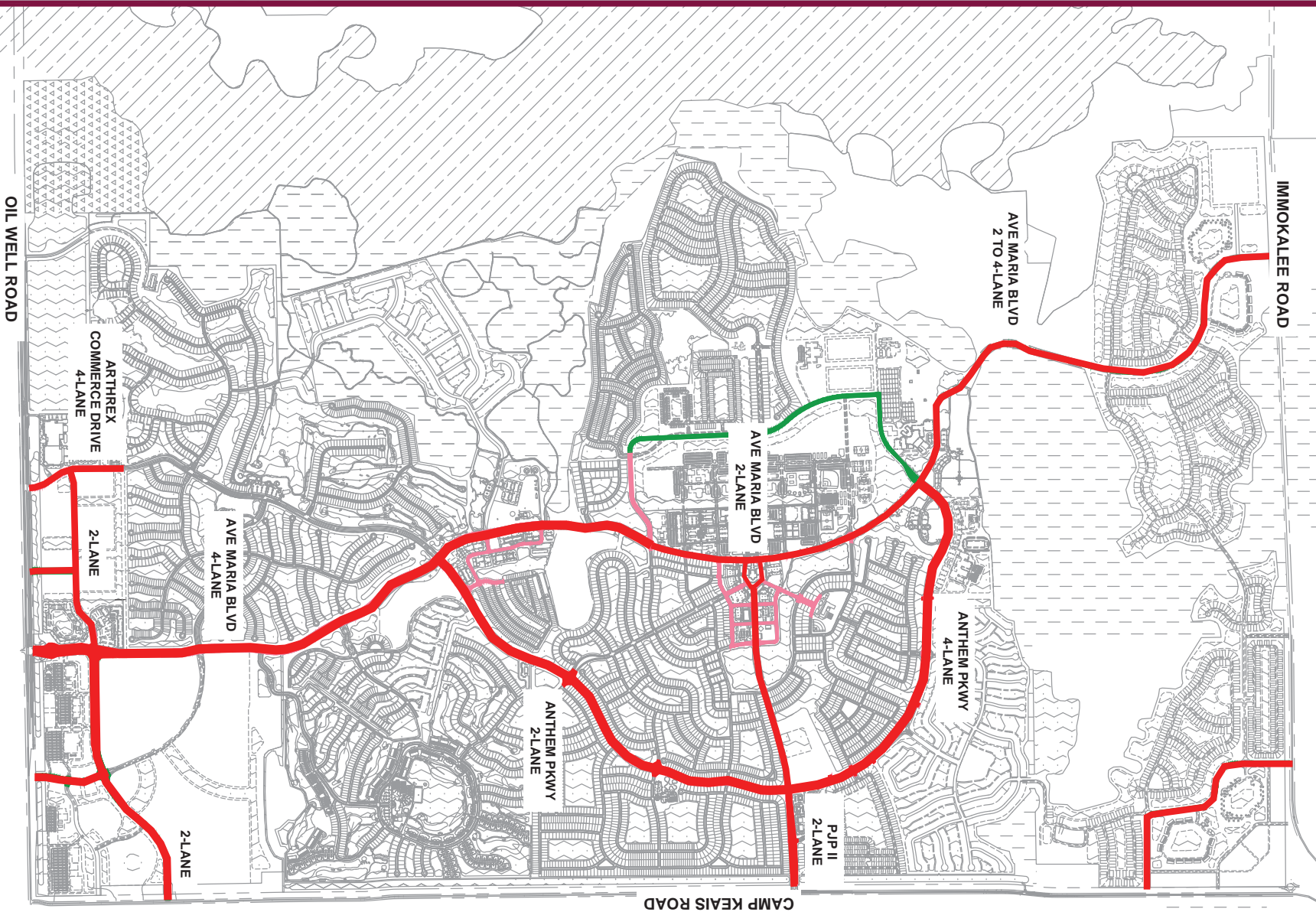
LEGEND

| DESCRIPTION | IDENTIFICATION |
|--|----------------|
| ROADWAYS EXISTING/ UNDER CONSTRUCTION | |
| FUTURE ROADWAY | |



AVE MARIA STEWARDSHIP COMMUNITY DISTRICT
FULL ROADWAY BUILDOUT

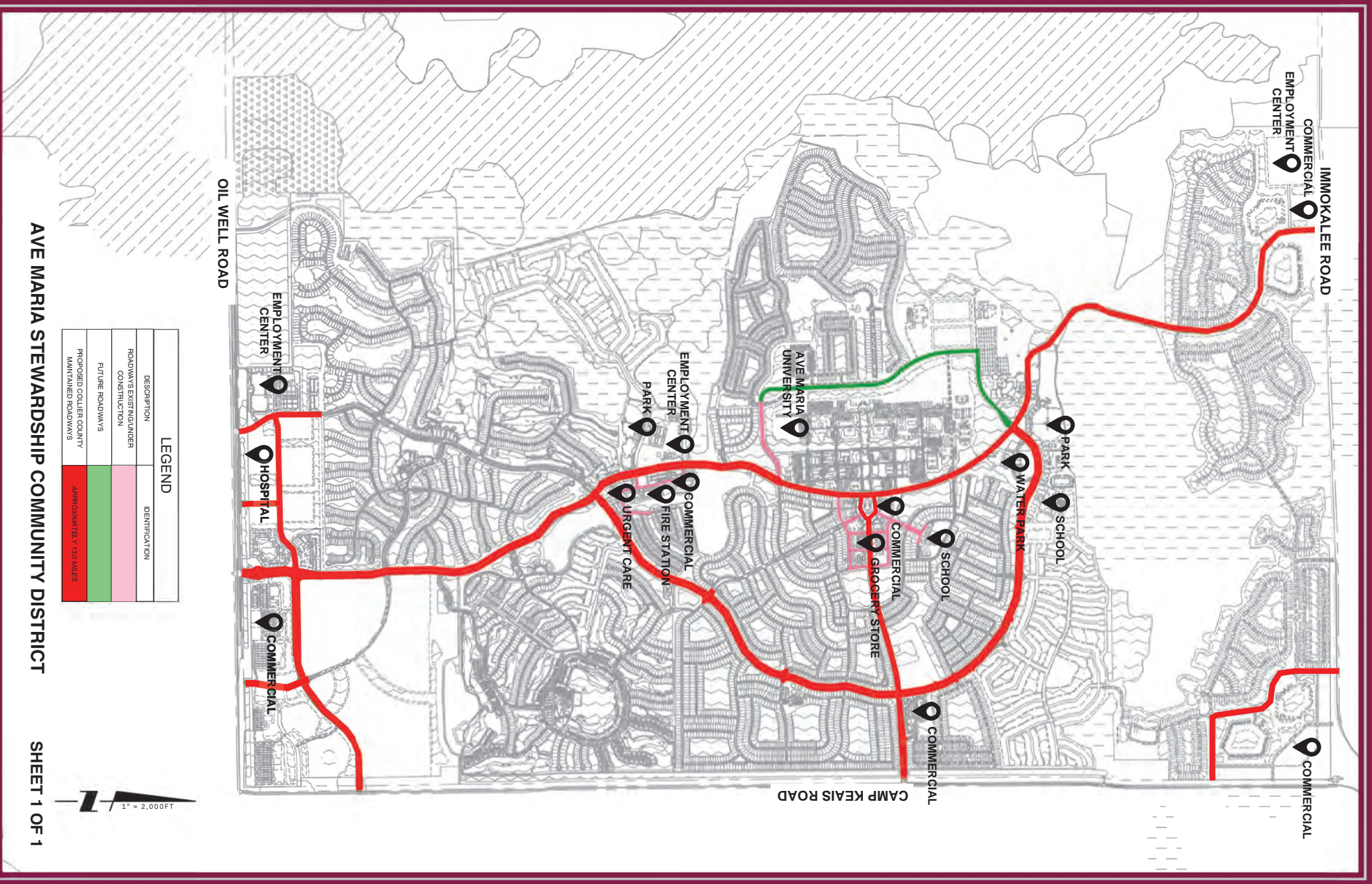
SHEET 3 OF 3



LEGEND

| DESCRIPTION | IDENTIFICATION |
|---|----------------|
| ROADWAYS EXISTING UNDER CONSTRUCTION | PINK LINE |
| FUTURE ROADWAYS | GREEN LINE |
| PROPOSED COLLIER COUNTY MAINTAINED ROADWAYS | RED LINE |





Ave Maria Stewardship Community District
Expenditures
October 2025

| | Oct 25 | 25/26 Budget | \$ Over Budget | % of Budget |
|---|---------------|---------------------|-----------------------|--------------------|
| Expenditures | | | | |
| 01-1130 · Payroll Tax Expense | 45.90 | 734.00 | -688.10 | 6.25% |
| 01-1131 · Supervisor Fees | 600.00 | 9,600.00 | -9,000.00 | 6.25% |
| 01-1310 · Engineering | 0.00 | 110,000.00 | -110,000.00 | 0.0% |
| 01-1311 · Management Fees | 6,125.00 | 73,500.00 | -67,375.00 | 8.33% |
| 01-1313 · Website Management | 208.33 | 2,500.00 | -2,291.67 | 8.33% |
| 01-1314 · District Manager - on site | 24,500.00 | 294,000.00 | -269,500.00 | 8.33% |
| 01-1315 · Legal Fees | 0.00 | 100,000.00 | -100,000.00 | 0.0% |
| 01-1320 · Audit Fees | 0.00 | 18,600.00 | -18,600.00 | 0.0% |
| 01-1330 · Arbitrage Rebate Fee | 0.00 | 5,550.00 | -5,550.00 | 0.0% |
| 01-1440 · Rents & Leases | 0.00 | 14,400.00 | -14,400.00 | 0.0% |
| 01-1441 · Travel & Lodging | 573.41 | 10,000.00 | -9,426.59 | 5.73% |
| 01-1450 · Insurance | 124,304.00 | 120,000.00 | 4,304.00 | 103.59% |
| 01-1480 · Legal Advertisements | 701.76 | 8,000.00 | -7,298.24 | 8.77% |
| 01-1512 · Miscellaneous | 52.55 | 10,000.00 | -9,947.45 | 0.53% |
| 01-1513 · Postage and Delivery | 108.24 | 3,000.00 | -2,891.76 | 3.61% |
| 01-1514 · Office Supplies | 0.00 | 3,500.00 | -3,500.00 | 0.0% |
| 01-1540 · Dues, License & Subscriptions | 175.00 | 500.00 | -325.00 | 35.0% |
| 01-1541 · Misc Filing, Notices, etc. | 0.00 | 500.00 | -500.00 | 0.0% |
| 01-1733 · Trustee Fees | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 01-1734 · Continuing Disclosure Fee | 0.00 | 12,000.00 | -12,000.00 | 0.0% |
| 01-1735 · Assessment Roll | 0.00 | 25,000.00 | -25,000.00 | 0.0% |
| 01-1890 · Reserve Expenditure | 0.00 | 350,000.00 | -350,000.00 | 0.0% |
| 01-1891 · Net Change To Reserve Balance | 0.00 | 529,562.00 | -529,562.00 | 0.0% |
| 02-0008 · Electricity | 9,564.78 | 150,000.00 | -140,435.22 | 6.38% |
| 02-001 · Landscape & Irrig MTE Cont | 0.00 | 1,050,000.00 | -1,050,000.00 | 0.0% |
| 02-002 · Plant Replacement | 8,545.57 | 200,000.00 | -191,454.43 | 4.27% |

Ave Maria Stewardship Community District
Expenditures
October 2025

| | Oct 25 | 25/26 Budget | \$ Over Budget | % of Budget |
|---|---------------|---------------------|-----------------------|--------------------|
| 02-003 · Mulch & Pinestraw | 0.00 | 175,000.00 | -175,000.00 | 0.0% |
| 02-004 · Tree Trimming | 0.00 | 80,000.00 | -80,000.00 | 0.0% |
| 02-005 · Irrigation Repairs | 25,506.63 | 215,000.00 | -189,493.37 | 11.86% |
| 02-006 · Annual Flowers | 19,937.93 | 80,000.00 | -60,062.07 | 24.92% |
| 02-007 · Misc Landscaping | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 02-009 · Street Light Maint | 11,451.32 | 140,000.00 | -128,548.68 | 8.18% |
| 02-010 · Sidewalk, Curb, Paver Repair | 27,159.00 | 100,000.00 | -72,841.00 | 27.16% |
| 02-011 · Asphalt Repairs | 0.00 | 75,000.00 | -75,000.00 | 0.0% |
| 02-012 · Striping & Traffic Markings | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 02-013 · Street Signs | 9,530.00 | 35,000.00 | -25,470.00 | 27.23% |
| 02-014 · Street Sweeping | 2,900.00 | 36,000.00 | -33,100.00 | 8.06% |
| 02-015 · Stormwater Drain Repair | 535.00 | 50,000.00 | -49,465.00 | 1.07% |
| 02-016 · Storm Drain Cleaning | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 02-017 · Lake MTE - Littoral & Banks | 5,585.00 | 80,000.00 | -74,415.00 | 6.98% |
| 02-018 · Preserve MTE | 12,098.00 | 115,000.00 | -102,902.00 | 10.52% |
| 02-019 · Pressure Washing | 0.00 | 65,000.00 | -65,000.00 | 0.0% |
| 02-020 · Fountain MTE Repair | 0.00 | 50,000.00 | -50,000.00 | 0.0% |
| 02-021 · Dog Waste Stations & Trash | 0.00 | 6,000.00 | -6,000.00 | 0.0% |
| 02-022 · Small Tools | 194.14 | 5,000.00 | -4,805.86 | 3.88% |
| 02-023 · Vehicle Fuel & MTE | 3,399.60 | 10,000.00 | -6,600.40 | 34.0% |
| 02-024 · Rodent & Pest Control | 0.00 | 20,000.00 | -20,000.00 | 0.0% |
| 02-025 · Misc MTE & Repairs | 2,100.00 | 55,000.00 | -52,900.00 | 3.82% |
| 02-026 · Christmas Lights | 11,750.00 | 23,500.00 | -11,750.00 | 50.0% |
| 02-027 · Asset Mgt Support & Softw | 9,583.00 | 140,000.00 | -130,417.00 | 6.85% |
| 02-028 · Professional Services | 0.00 | 70,000.00 | -70,000.00 | 0.0% |
| 02-029 · Security Cameras | 0.00 | 250,000.00 | -250,000.00 | 0.0% |
| 02-030 · Roundabout Uplighting | 0.00 | 76,000.00 | -76,000.00 | 0.0% |

Ave Maria Stewardship Community District
Expenditures
October 2025

| | Oct 25 | 25/26 Budget | \$ Over Budget | % of Budget |
|--|-------------------|---------------------|-----------------------|--------------------|
| 02-031 · Crosswalk Enhancements | 0.00 | 100,000.00 | -100,000.00 | 0.0% |
| 02-032 · Streetlight Numbering | 0.00 | 10,000.00 | -10,000.00 | 0.0% |
| 02-033 · Entry Feature Water | 578.22 | 9,400.00 | -8,821.78 | 6.15% |
| 02-034 · Irrigation Water | 6,444.41 | 140,000.00 | -133,555.59 | 4.6% |
| 02-035 · Admin Office Rent & Supplies | 1,110.00 | 9,600.00 | -8,490.00 | 11.56% |
| 02-036 · Office Rent & Supplies | 2,060.95 | 26,000.00 | -23,939.05 | 7.93% |
| 02-037 · Cable Phone Modems | 955.20 | 10,000.00 | -9,044.80 | 9.55% |
| 02-038 · Base Mgmt Fee FSR | 0.00 | 6,000.00 | -6,000.00 | 0.0% |
| 02-039 · Storm Cleanup & Repairs | 0.00 | 112,500.00 | -112,500.00 | 0.0% |
| 02-041 · Operations Team Salaries | 40,425.00 | 485,100.00 | -444,675.00 | 8.33% |
| Total Expenditures | 368,807.94 | 6,161,046.00 | -5,792,238.06 | 5.99% |

To: Board of Supervisors
From: Allyson Holland, P.E., District Manager
Date: November 24, 2025
Board Meeting Date: December 2, 2025

SUBJECT

Consider Approval of Agreement with Motorola Solutions, Inc. for Security Improvements Phase 2.

STAFF RECOMMENDATION

Staff recommends Approval of Agreement with Motorola Solutions, Inc. for Security Improvements Phase 2.

GENERAL INFORMATION

The Ave Maria Stewardship Community District (District) staff began meeting with Collier County Sheriff's Office (CCSO) last year to discuss improving safety and security at Ave Maria. CCSO advised that security cameras will improve CCSO's investigative capabilities within the Ave Maria community. The current cameras have proven to be valuable assets to CCSO since they've been installed. CCSO does not actively monitor the cameras, they are used for law enforcement purposes only as-needed. The District will not monitor or access the camera footage. Motorola Solutions provides turnkey management of the system; to include repairs, maintenance, and replacement of faulty units. The District has the opportunity to expand the use of the Vigilant cameras throughout the District. Pricing for the hardware and services were obtained utilizing Cooperative Purchasing terms within Sourcewell contract 101223. The proposed camera locations will be coordinated directly with CCSO. The proposed agreement includes 15 cameras, including accessories and networking, for a cost of \$194,744.40. Note that District staff will coordinate electrical work and internet (cable or fiber) connectivity separately.

PROCUREMENT REVIEW

The security system agreement is under the \$195,000 threshold which would require sealed procurement. Further, the District is able to obtain advantageous pricing through the use of the Sourcewell agreement which is a State of Minnesota local government unit and service cooperative created under the laws of the State of Minnesota that offers cooperative procurement solutions to government entities. The District may participate in this cooperative procurement agreement.

DISTRICT ENGINEER REVIEW

Not applicable.

DISTRICT LEGAL COUNSEL REVIEW

The District Legal Counsel has reviewed and approved the attached agreement for legal form and sufficiency (noting negotiation is limited because of the Sourcewell agreement cooperative pricing). State of Florida required contractual items are included as Exhibit A to the Agreement.

FUNDING REVIEW

Sufficient funding for security improvements is available. The adopted FY 25-26 Maintenance Budget includes a Security Cameras line item in the amount of \$250,000.00.

Attachments



MOTOROLA SOLUTIONS

Ave Maria Stewardship Community District

October 23rd, 2025

The design, technical, and price information furnished with this proposal is proprietary information of Motorola Solutions, Inc. (Motorola). Such information is submitted with the restriction that it is to be used only for the evaluation of the proposal, and is not to be disclosed publicly or in any manner to anyone other than those required to evaluate the proposal, without the express written permission of Motorola Solutions, Inc.

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PS-000151887

Allyson Holland
Ave Maria Stewardship Community District
5080 Annunciation Circle #101
Ave Maria, FL 34142

Subject: Proposal for new Avigilon Cameras

Dear Allyson,

Motorola Solutions, Inc. ("Motorola Solutions") is pleased to have the opportunity to provide Ave Stewardship Community District ("District") with high-quality Avigilon cameras. The Motorola Solutions team has taken great care to propose a solution that will meet your needs and provide unsurpassed value.

The products and services described in this proposal shall be provided under the terms and conditions of the Sourcewell Contract # 101223-MOT. Furthermore, this proposal shall remain valid through December 15th, 2025. The District may accept the proposal by delivering to Motorola the executed documents attached, and a PO referencing the Sourcewell Contract # 101223-MOT and this proposal. Alternatively, Motorola Solutions would be pleased to address any concerns regarding the proposal. Any questions regarding this proposal can be directed to Brian Wahl, Motorola Solutions Account Executive at 941.713.6740 (Brian.wahl@motorolasolutions.com).

We thank you for the opportunity to provide the district with "best in class" solutions and we hope to strengthen our relationship by implementing this project. Our goal is to provide you with the best products and services available in the communications industry.

Sincerely,



Maurizio Callari
Area Sales Manager - Florida
Motorola Solutions, Inc

1. Summary

Open, scalable, secure, and easy to use, Alta Video is an enterprise-grade, cloud-based AI video management system (VMS) equipped with integrated machine learning capabilities.

1.1. Achieve true proactive security with AI analytics

Get greater insight into what's happening at all your sites, at any moment, from anywhere in the world. Leverage AI-driven intelligence to accurately identify potential security threats, so you can take control of the situation. With Alta Video cloud-based video analytics, you can:

- Detect and classify anomalies based on perimeters and behaviors
- Differentiate between people, vehicles and other objects
- Map movement across your sites
- Receive real-time alerts with thumbnails, time and location data

1.2. Investigate smarter and faster

Alta Video offers smart, intuitive search tools that can transform time-intensive review of surveillance footage into fast answers, empowering security operators.

- Search one or more cameras and specify a time range
- Find people and filter by apparent gender and clothing color
- Locate vehicles based on type, color or license plate
- Match against a reference image for people or vehicles

1.3. Enhance your operational awareness

Use data and insight from video analytics and sensors to optimize business processes and efficiencies, and improve the customer experience.

- Optimize cleaning, heating and cooling based on usage
- Use hot-desking metrics to improve productivity and planning
- Understand traffic flows in retail and public venues
- Identify hot spots and high-traffic areas to improve customer experience

1.4. Secure and scalable, on the camera and in the cloud

Alta Video makes compliance easier with a security-by-default approach, providing peace of mind for organizations. It's never been easier to protect privacy and prevent cybersecurity threats with:

- Automatic software updates from the cloud
- End-to-end encryption of data and metadata
- Secure, remote access via a browser or mobile app
- Scalable, secure storage on the camera or in the cloud

2. Scope of Work

2.1. District

- Provide, install and configure Avigilon IP cameras listed in the pricing tables.
- Provide, install, and configure PoE switches listed in the pricing tables
- Configure the new Avigilon Alta Aware Cloud Video Management System for all cameras and user access/permissions.

2.2. Notes

- Pricing does not include unknown costs such as permitting, construction, or electrical.
- Cameras require internet connectivity for connection via Alta Aware Portal.

2.3. Customer Responsibilities

- Customer is responsible for power and internet connectivity at the specified locations.
- Customer is responsible for providing site access.

3. Pricing Summary

| Pricing Summary | | |
|----------------------------|---|-----|
| Avigilon Alta CCTV Cameras | | |
| Item | Description | Qty |
| 32C-H5A-4MH-30 | 8MP 4 head H5A Multisensor Camera; Alta 30 Day | 15 |
| Accessories | | |
| Item | Description | Qty |
| PLMT-1001 | Pole Mount for Large Pendant WLMT-1001 | 15 |
| WLMT-1001 | Wall Mount for large pendant camera | 15 |
| H4AMH-AD-IRI L1 | Optional IR illuminator ring, for use with H5AMH-DO-COVR1. | 15 |
| H5AMH-AD-PE ND1 | Outdoor pendant mount adapter | 15 |
| H5AMH-DO-COVR1 | Dome bubble and cover | 15 |
| Networking | | |
| Item | Description | Qty |
| ES-PS-S4-NPC | Managed switch, 5 port, Outdoor IP66, -40°C (-40°F) to 50°C (122°F), Gigabit Ethernet, AC power input. 1x SFP uplink and 4 port RJ45. No power cord. Maximum PoE power allocation: Up to 4 ports of PoE+ each, or 2 ports of 60W PoE each. | 15 |

| | | |
|-------------------------------|---|---------------------|
| ES-PS-MNT-POL E | Pole mount bracket for ES-PS-S4 switch. | 15 |
| MBL-ORTR | Mobile Router Industrial - 4G LTE | 15 |
| MBL-EXTW | Extended Warranty for Mobile Routers | 15 |
| MBL-MGM | Mobility Manager | 15 |
| Licenses | | |
| Item | Description | Qty |
| AWA-CLD-5Y | Alta Aware License | 15 |
| Motorola Fixed LPR L6D | | |
| Item | Description | Qty |
| INSTALL | Installation, Setup, and Configuration | 1 |
| Support | Onsite Support- New and existing CCTV cameras -1 Year | 1 |
| | MSRP Total | \$226,892.00 |
| | Sourcewell Contract Discount | -\$11,524.76 |
| | 2025 Incentive Discount- | -\$20,622.84 |
| | Grand Total | \$194,744.40 |

*All Pricing is valid until December 15, 2025.

4. Payment Milestones & Billing

Table 4-1: Payment Milestones

| Payment Milestones | | |
|---|------|--------------|
| Contract Signature & Execution (Due on Receipt) | 50% | \$97,372.20 |
| Hardware Delivery | 50% | \$97,372.20 |
| Total Milestone Payments | 100% | \$194,744.40 |

Motorola Solutions shall invoice the district in accordance with the Table 1 - 3: Payment Milestones. Motorola Solutions shall submit all invoices referencing the applicable billing milestone(s) submitted for payment to the district, at 5080 Annunciation Circle, Ave Maria, FL 34142 aholland@sdsinc.org. Except for payments due on receipt, AMSCD will make payments to Motorola within thirty (30) days after the date of each invoice. AMSCD will make payments when due in the form of a wire transfer, check, or cashier's check from a U.S. financial institution.

Contractual Documentation

The products and services described in this proposal shall be governed by the terms and conditions of the Sourcewell Contract # 101223-MOT, and the Additional Florida Terms attached hereto as Exhibit A and incorporated into and made a part of this Agreement.

Customer affirms they have signatory authority to execute this contract. The contract price of \$194,744.40, excluding taxes, is fully committed and identified, including all subsequent years of contracted services, if applicable. The Customer will pay all invoices as received from Motorola and any changes in scope will be subject to the change order process as described in this Agreement.

Motorola acknowledges the Customer may require the issuance(s) of a purchase order or notice to proceed as part of the Customer's procurement process. However, Customer agrees that the issuance or non-issuance of a purchase order or notice to proceed does not preclude the Customer from its contractual obligations as defined in this Agreement.

The Parties hereby agree to the terms and conditions set forth above as of the last signature date below.

Motorola Solutions, Inc.

Customer: Ave Maria Stewardship Community District

By: Maurizio Callari
Name: Maurizio Callari _____
Title: Area Sales Manager _____
Date: 11/25/2025 _____

By: _____
Name: _____
Title: _____
Date: _____

Exhibit A
Additional Florida Terms

1. Indemnification. Nothing contained herein is intended nor may it be construed, to waive Customer's rights and immunities under the common law or Section 768.28, Florida Statutes, as amended from time to time; nor will anything included herein be construed as consent to be sued by any third parties in any matter arising out of this Agreement. To the extent considered necessary by the Contract Administrator and the Customer Attorney, any sums due Motorola under this Agreement may be retained by the Customer until all of the Customer's claims subject to this indemnification obligation have been settled or otherwise resolved, and any amount withheld is not subject to payment of interest by the Customer. The above provisions will survive the termination or expiration of this Agreement and will pertain to any occurrence during the term of this Agreement, even though the claim may be made after the termination or expiration hereof.

2. Sovereign Immunity. Nothing contained in this Agreement or Agreement is intended to nor shall it be construed as an additional waiver of sovereign immunity by the Customer beyond the Customer's expressed written contractual obligations contained within this contract, nor shall it be construed as a waiver of any defenses or limitations to any claims, including those based on the doctrine of sovereign immunity or section 768.28, Florida Statutes.

3. Public Records Compliance. Motorola agrees that, to the extent that it may "act on behalf" of the Customer within the meaning of Section 119.0701(1)(a), Florida Statutes in providing its services under this Agreement, it shall:

(a) Keep and maintain public records required by the public agency to perform the service.

(b) Upon request from the public agency's custodian of public records, provide the public agency with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in this chapter or as otherwise provided by law.

(c) Ensure that public records that are exempt or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the contract if the contractor does not transfer the records to the public agency.

(d) Upon completion of the contract, transfer, at no cost, to the public agency all public records in possession of the contractor or keep and maintain public records required by the public agency to perform the service. If the contractor transfers all public records to the public agency upon completion of the contract, subject to applicable law and ethical rules, Motorola shall destroy any duplicate public records that are exempt or confidential and exempt from public records disclosure requirements. If the Motorola keeps and maintains public records upon completion of the contract, the contractor shall meet all

applicable requirements for retaining public records. All records stored electronically must be provided to the public agency, upon request from the Customer's custodian of public records, in a format that is compatible with the information technology systems of the Customer.

(e) Pursuant to Section 119.0701(2)(a), Fla. Stat., IF MOTOROLA HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO MOTOROLA'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS CONTRACT, CONTACT THE CUSTODIAN OF PUBLIC RECORDS CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT (561) 630-4922, AHOLLAND@SDSINC.ORG, 2501A Burns Road, PALM BEACH GARDENS, FLORIDA 33410.

4. Public Records Compliance Indemnification. Motorola authorizes the public agency to seek declaratory, injunctive, or other appropriate relief against Motorola in Collier County Circuit Court on an expedited basis to enforce the requirements of this section.

5. Compliance/Consistency with Section 768.28, Fla. Stat. Any indemnification or agreement to defend or hold harmless by the Customer specified in the Agreement shall not be construed as a waiver of Customer's sovereign immunity and shall be limited to such indemnification and liability limits consistent with the requirements of Section 768.28, Fla. Stat. and subject to the procedural requirements set forth therein. Any other purported indemnification by Customer in the Agreement in derogation hereof shall be void and of no force or effect.

6. Non-appropriation. In the event funds are not appropriated in any fiscal year for payments due under this agreement, then the Contractor shall be notified as soon as is practical by memorandum from the District Manager or designee that funds have not been appropriated for continuation of the Agreement, and the Agreement shall expire at the end of the fiscal year for which funding has been appropriated notwithstanding any automatic renewal as may be provided in the Agreement. The termination of the Agreement at fiscal year-end shall be without penalty or expense to the District, subject to the District paying all invoices for services rendered during the period the Agreement was funded by an appropriation. Notwithstanding the above, the Customer will pay Motorola for all conforming services rendered, and equipment or parts provided, up to the date of termination.

7. E-Verify Compliance. By entering into this Agreement, Motorola is obligated to comply with the provisions of Section 448.095, Florida Statutes "Employment Eligibility," as amended from time to time. This includes but is not limited to utilization of the E-Verify System to verify the work authorization status of all newly hired employees, and requiring all subcontractors to provide an affidavit to Motorola attesting that the subcontractor does not employ, contract with, or subcontract with, an unauthorized alien. Motorola agrees to maintain a copy of such affidavit for the duration of this Agreement. Failure to comply with this paragraph will result in the termination of this Agreement as provided in Section

448.095, Florida Statutes, as amended and Motorola will not be awarded a public contract for at least one (1) year after the date on which the Agreement was terminated. Motorola affirmatively states, under penalty of perjury, that in accordance with Section 448.095, Fla. Stat., Motorola is registered with and uses the E-Verify system to verify the work authorization status of all newly hired employees, that in accordance with such statute, Motorola requires from each of its subcontractors an affidavit stating that the subcontractor does not employ, contract with, or subcontract with an unauthorized alien, and that Motorola is otherwise in compliance with Sections 448.09 and 448.095, Fla. Stat.

8. Compliance/Consistency with Scrutinized Companies Provisions of Florida Statutes. Section 287.135(2)(a), Florida Statutes, prohibits a company from bidding on, submitting a proposal for, or entering into or renewing a contract for goods or services of any amount if, at the time of contracting or renewal, the company is on the Scrutinized Companies that Boycott Israel List, created pursuant to section 215.4725, Florida Statutes, or is engaged in a boycott of Israel. Section 287.135(2)(b), Florida Statutes, further prohibits a company from bidding on, submitting a proposal for, or entering into or renewing a contract for goods or services over one million dollars (\$1,000,000) if, at the time of contracting or renewal, the company is on either the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, both created pursuant to section 215.473, Florida Statutes, or the company is engaged in business operations in Cuba or Syria.

Accordingly, Motorola hereby certifies that Motorola is not listed on any of the following: (i) the Scrutinized Companies that Boycott Israel List, (ii) Scrutinized Companies with Activities in Sudan List, or (iii) the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List. Motorola further hereby certifies that Motorola is not engaged in a boycott of Israel or engaged in business operations in Cuba or Syria. Motorola understands that pursuant to section 287.135, Florida Statutes, the submission of a false certification may subject Motorola to civil penalties, attorney's fees, and/or costs. Motorola further understands that any contract with Customer for goods or services of any amount may be terminated at the option of Customer if Motorola (i) is found to have submitted a false certification, (ii) has been placed on the Scrutinized Companies that Boycott Israel List, or (iii) is engaged in a boycott of Israel. And, in addition to the foregoing, if the amount of the contract is one million dollars (\$1,000,000) or more, the contract may be terminated at the option of Customer if the company is found to have submitted a false certification, has been placed on the Scrutinized Companies with Activities in Sudan List or the Scrutinized Companies with Activities in the Iran Petroleum Energy Sector List, or has been engaged in business operations in Cuba or Syria.

Notwithstanding the above, Motorola has business operations in Sudan and Syria in the form of support for various United Nations missions. This support is only provided after approval from the US Government in the form of an export license from the US Department of Commerce.

9. Public Entities Crime or Convicted Vendor List. The Contract has a continuous duty to disclose to the District if the Motorola or any of its affiliates as defined by Section 287.133(1) (a), Florida Statutes are placed on the convicted vendor list or the Antitrust Violator Vendor List.

10. Venue and Jurisdiction. Notwithstanding any of other provision to the contrary, this Agreement and the Parties' actions under this Agreement shall be governed by and construed under the laws of the state of Florida, without reference to conflict of law principles. As a material condition of this Agreement, each Party hereby irrevocably and unconditionally: i) consents to submit and does submit to the jurisdiction of the Circuit

Court in and for Collier County, Florida for any actions, suits or proceedings arising out of or relating to this Agreement.

11. [Intentionally Omitted]

12. Data Management; Notice of Breach. Motorola shall cooperate with state and local government obligations by assisting with timely incident reporting, response activities/fact gathering, public and agency notification requirements, severity level assessment, after-action reports as provided in Section 282.3185 (5) & (6), Florida Statutes.

13. Environmental and Social Government and Corporate Activism. Motorola is prohibited from giving preference to any subcontractor based on the subcontractor's social, political or ideological interests as mandated in Section 287.05701, Florida Statutes.